

The City Council and Planning and Zoning Commission of the City of Seabrook met in Special Session on Tuesday, April 5, 2022, at 5:00 p.m. in Seabrook City Hall, 1700 First Street, Seabrook, Texas, to discuss, consider and if appropriate, take action on the items listed below. A Quorum was present.

Mayor Kolupski called the meeting to order at 5:00 p.m. and led the audience in the United States and Texas Pledges of Allegiance.

1. PUBLIC COMMENTS AND ANNOUNCEMENTS

NONE

2. JOINT PUBLIC HEARING

- 2.1** Conduct a Joint Public Hearing on a Request for approval of amendments to the Seabrook Town Center Planned Unit Development (PUD).

Legal Description: Tract 1: A 3.98 18 acre tract of land situated in the Ritson Morris Survey, Abstract 52, Harris County, Texas and being out of and a part of Lots 17 and 18 of Ruggles Subdivision as recorded in Volume 5 at Page 30 of the Map Records of Harris County', Texas. Said tract also being all of that certain 3.982 acres conveyed by The Presbyterian Extension Committee, Presbyterian Church, U.S. of Greater Houston to Richard W. Harral, Jr., by Deed dated July 10, 1978 and recorded under County Clerk's File No. F676747 of the Deed Records of Harris County, Texas.

Tract 2: A 3.4 196 acre tract of land situated in the Ritson Morris Survey, Abstract 52, Harris County, Texas and being out of and a part of Lots 17 and 18 of Ruggles Subdivision as recorded in Volume 5 at Page 30 of the Map Records of Hams County, Texas. Said tract also being all of that certain 1.7 16 acres conveyed by Red Bluff Development Company to City of Seabrook by Deed dated August 2, 1972 and recorded under County Clerk's File No. D695743 of the Deed Records of Hams County, Texas; all of that certain 0.6887 of an acre conveyed by Red Bluff Development Company to City of Seabrook by Deed dated April 19, 1966 and recorded under County Clerk's File No. C401938 of the Deed Records of Harris County, Texas and all of that certain 1.000 acre tract of land conveyed by Red Bluff Development Company to City of Seabrook by Deed dated December 9, 1967 and recorded under County Clerk's File No. C828387 of the Deed Records of Harris County, Texas.

Tract 3: A 12.1341 acre tract of land situated in the Ritson Morris Survey, Abstract 52, Harris County, Texas and being out of and apart of Lots 15, 16, 17 and 18 of Ruggles Subdivision as recorded in Volume 5 at Page 30 of the Map Records of Harris County, Texas. Said tract also being out of and a part of the residue of that certain 40.92-acre tract of land conveyed by Theodore Dee McCollom, Jr. to

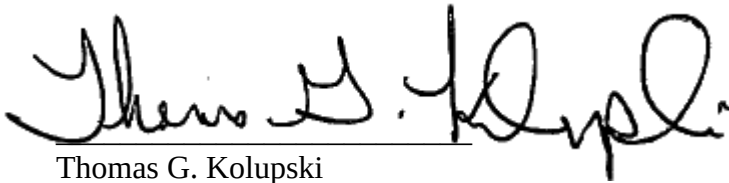
Seabrook Venture II by Correction Deed dated March 1, 2000 and recorded under County Clerk's File No. U265 748 of the Official Public Records of Real Property of Harris County, Texas.

Location: This property is located north of Repsdorph Road, south of Oak Dale Way, west of State Highway 146, and east of Lakeside Drive.

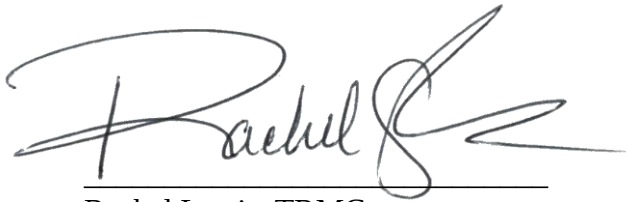
- Sean Landis presented information regarding approval of amendments to the Seabrook Town Center Planned Unit Development. See Attachment A.

Upon motion duly made and seconded, Mayor Kolupski adjourned the meeting at 5:41 p.m.

Approved this 19th day of December 2023.



Thomas G. Kolupski
Mayor



Rachel Lewis, TRMC
City Secretary

Exhibit B

Edge at Seabrook Town Centre Planned Unit Development District Plan

Ordinance No. 2022- **DRAFT**



March 2022

DRAFT

Exhibit B

EDGE AT SEABROOK TOWN CENTRE PLANNED UNIT DEVELOPMENT DISTRICT PLAN

Ordinance No. 2022-__

A. CONTENTS

This Planned Unit Development District Plan (PUD) includes the following Sections:

- General Provisions
- Permitted Land Uses
- Development Regulations
- Landscape and Pedestrian Circulation Regulations
- Signage
- Building Regulations

B. GENERAL PROVISIONS

1. The PUD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. For Multi-family; if any provision or regulation of any City ordinance applicable in a R-3(Medium Density Residential) zoning district (Base Zoning) is not contained in this ordinance, all the regulations contained in the Zoning and Subdivision ordinances applicable to the R-3 zoning district in effect on the effective date of this ordinance apply to this PUD as though written herein, and for Retail Office; if any provision or regulation of any City ordinance applicable in a C-1(Light Commercial) zoning district (Base Zoning); except that restaurants shall be a use by right and not require a Conditional Use Permit; is not contained in this ordinance, all the regulations contained in the Zoning and Subdivision ordinances applicable to the C-1 zoning district in effect on the effective date of this ordinance apply to this PUD as though written herein except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this PUD have the meaning established by the Zoning ordinance. In this ordinance:

Accessory building means a building subordinate to a principal building and includes detached garages.

Common Open Space means a parcel or parcels of land or an area of water or a combination of land and water within the site designated PUD, designed for the use and enjoyment of the residents of the PUD. Common open space as defined herein includes both passively landscaped sites without improvements of any kind or complimentary structure and improvements as are necessary and appropriate for the benefit and enjoyment of the residents of the PUD

Not less than 20 percent of the land shall be reserved for “common open space” as defined above, the term “common open space,” as used herein, may include boardwalks and 20 percent of the

parking areas. In calculating the minimum area required, the measurement may also include the area of all dedicated streets entirely within the site and one-half of the area of the boundary streets.

PUD means the planned unit development district created by this ordinance.

Shared/Common Driveway means a privately owned and maintained vehicular access way that provides access from a public street to residential or non-residential units.

3. The PUD shall be developed in accordance with the following exhibits that are attached to and made part of this document:

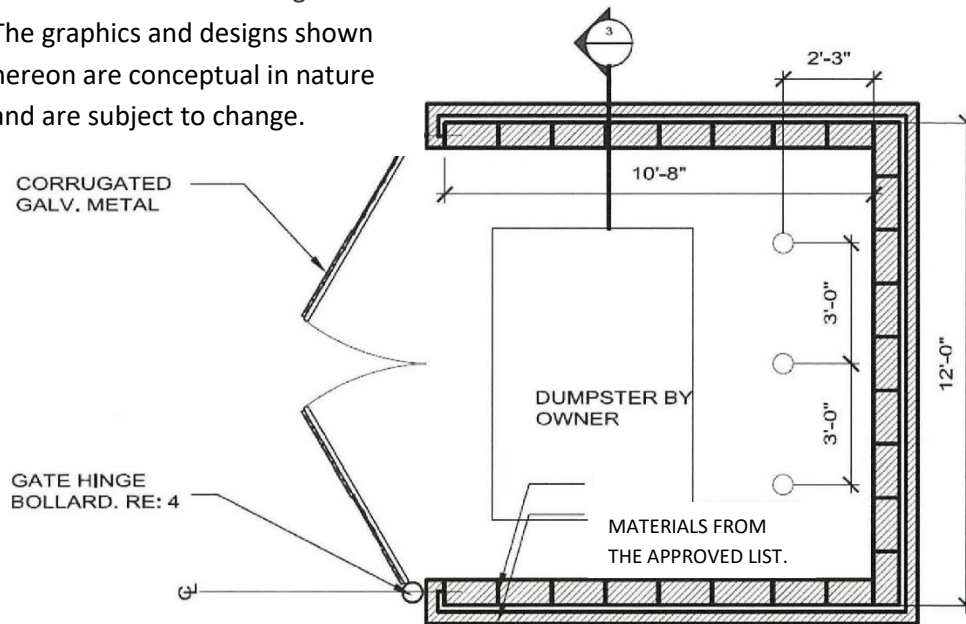
Exhibit D-1:	<i>Location Map</i>
Exhibit D-2:	<i>Site Plan</i>
Exhibit D-3:	<i>Access Detail</i>
Exhibit D-4:	<i>Parking Plan</i>
Exhibit D-5:	<i>Open Space Plan</i>
Exhibit D-6:	<i>Sign Locations and Details</i>
Exhibit D-7:	<i>Aerial Perspective</i>
Exhibit D-8:	<i>Building Elevations</i>
Exhibit D-9:	<i>Building Elevations</i>
Exhibit D-10:	<i>Utilities, Water & Sanitary Sewer</i>
Exhibit D-11:	<i>Drainage Plan</i>
Exhibit D-12:	<i>Development Schedule</i>
Exhibit D-12b:	<i>Phasing Plan</i>

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4. As shown on *Exhibit D-1, Location Map*, the PUD encompasses 19.5355 acres located west of SH 146, east of Lakeside Drive, north of Repsdorph Drive and south of Wild Oak Forest Lane.
5. Multi-family residential development shall substantially conform to the general layout and design concepts illustrated on *Exhibit D-2, Site Plan*.
6. Refuse containers shall be screened from public view and backyard views with masonry wall and can also be further screened by landscape and other devices. Trash areas and dumpster locations shall be permanently fenced or screened with enclosures so that trash container/dumpster shall not be visible from any public street. The enclosures shall be constructed in accordance with Figure 1-1 through 1-4 and kept closed at all times other than at trash pick-up.

Figure 1-1:DUMPSTER ENCLOSURE

The graphics and designs shown hereon are conceptual in nature and are subject to change.

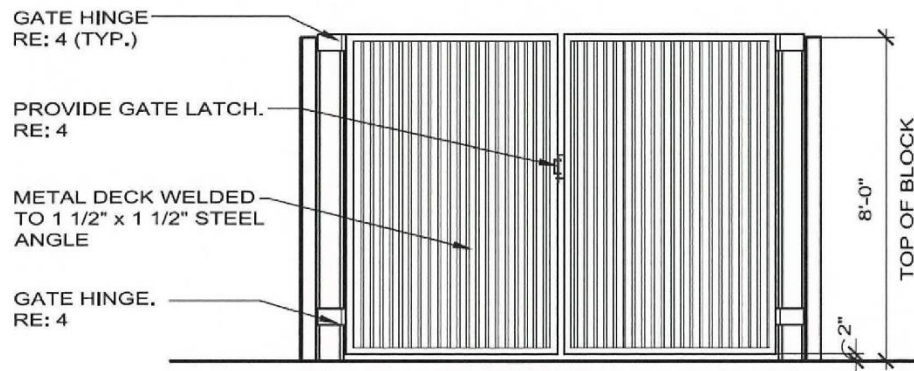


1 DUMPSTER ENCLOSURE PLAN

SCALE:1/4"=1'-0"

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Figure 1-2: DUMPSTER ENCLOSURE

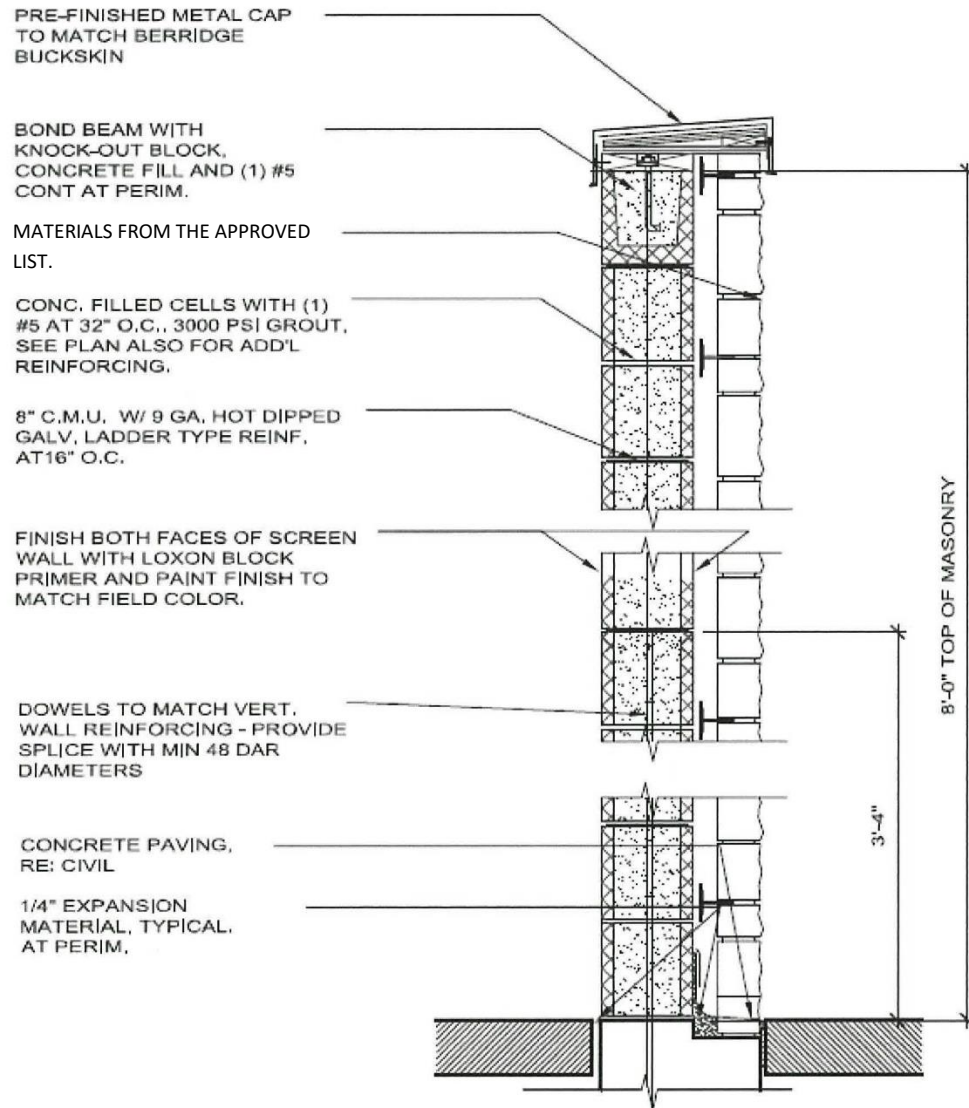


2 DUMPSTER ENCLOSURE PLAN

SCALE:1/4"=1'-0"

The graphics and designs shown hereon are conceptual in nature and are subject to change.

Figure 1-3: DUMPSTER ENCLOSURE



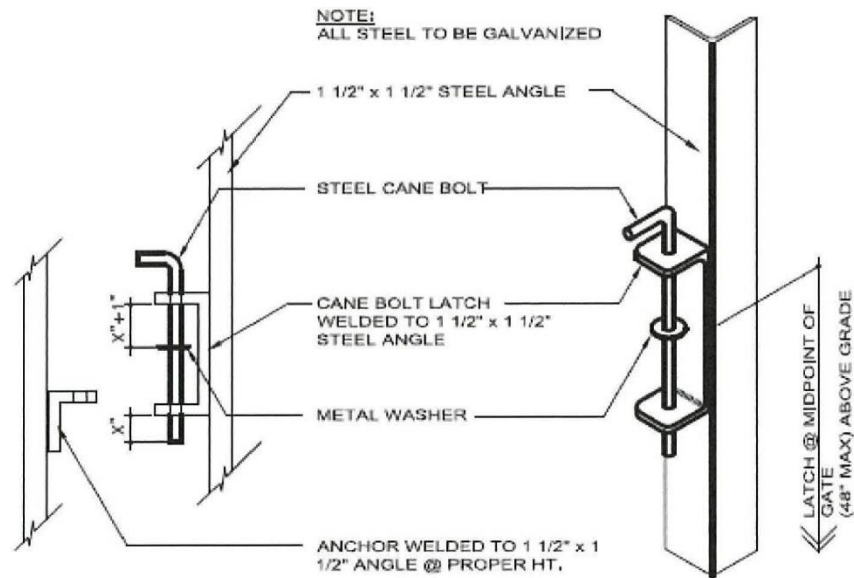
3 SCREEN WALL SECTION

SCALE: 1/1"=1'-0"

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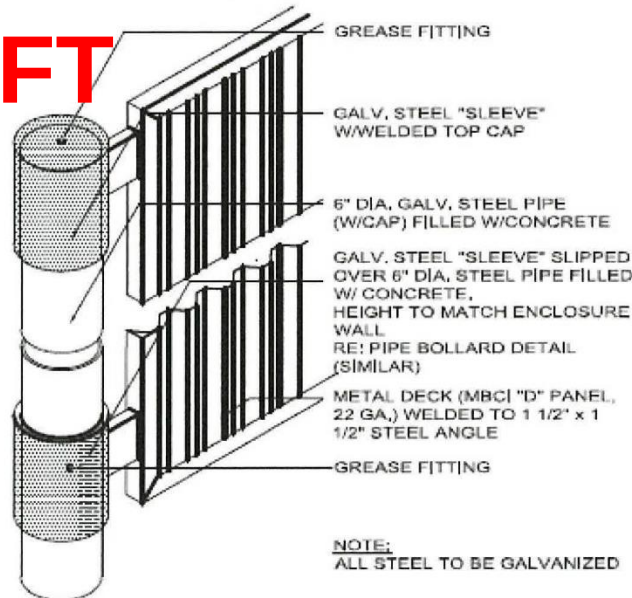
The graphics and designs shown hereon are conceptual in nature and are subject to change.

Figure 1-4: DUMPSTER ENCLOSURE



GATE LATCH DETAIL

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GATE HINGE DETAIL

4

GATE LATCH DETAIL

SCALE: 1/4\"/>

The graphics and designs shown hereon are conceptual in nature and are subject to change.

6. Signage: **Five** freestanding signs, meeting the standards outline in Section F, Signage will be constructed on-premises as shown on [Exhibit D-6, Sign Locations and Details](#) . Wall signage will be constructed meeting the requirements established in Article 6 – Signage, City Code of Ordinance

7. Oak Meadow Drive: Vehicular access to, or the extension of Oak Meadow Drive is not permitted.

C. PERMITTED LAND USES

1. Permitted land uses are listed below in [Table 1.0: Permitted Uses](#). Any use that is not expressly listed below but is permitted in the C1 District or cannot be reasonably categorized as falling within the definition or common English interpretation of listed use, may be considered by the Seabrook Planning Commission as a Conditional Use or Specific Use.
2. Permitted land uses may be mixed horizontally or vertically on a single property in accordance with the [Table 1.0: Permitted Uses](#).
3. Permitted Uses: The following table presents the permitted uses within the District. Certain land uses are permitted when developed under specific conditions as established in the Notes section of the [Table 1.0: Permitted Uses](#).

Table 1.0 – Permitted Uses:

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Land Uses Permitted	Phase 1 MultiFamily and Commercial	Phase 2 Commercial	Notes
Residential Land Uses			
Dwelling, Multifamily/	X		Note 1
Medical Land Uses			
Clinic		X	
Medical, Dental & Optical Retail Sales	X	X	
Medical, Dental Office		X	
Optician Shop	X	X	
Professional Services			

Accessory Banking		X	Note 2
Banks or Financial Services		X	
Office, Business	X	X	
Office, Professional	X	X	
Office, Real Estate Development Tract or Field Office	X	X	
Commercial, Retail, Personal Services			
Antique Shop	X	X	
Art Gallery	X	X	
Arts, Crafts and Hobby Shop	X	X	
Bakery, Retail Confectionery	X	X	
Barbers/Beauty Salons/Day Spa	X	X	
Bars / Pub	X	X	Note 4
Caterers	X	X	
Convenience Store (Without Fuel Pumps)	X	X	
Farmers' Market, Outdoor		X	
Gift Shop including Florist	X	X	

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Health Club	X	X	
Hobby Studio, Private	X	X	
Kiosk	X	X	
Laundry, Dry Cleaning Pickup & Receiving Station	X	X	Note 3
Liquor Store		X	
Meat Market (includes Seafood)		X	
Music Store	X	X	
Office Supply Store	X	X	
Pet Shop (Indoor Kennels Only)		X	
Restaurant Full Service	X	X	
Restaurant, Drive- in/Drive-Thru		X	
Restaurant, Refreshment Stand (temporary or Seasonal)	X	X	
Tanning Studio	X	X	
Art & Craft Production	X	X	
Accessory Use			
Accessory Building	X	x	Note 5

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Notes: Uses within the PD must be developed in compliance with the following conditions:

1. Multi-Family development is limited to a maximum of 320 units and other development regulations specified in Section D, Development Regulations, Page 7 of this document and illustrated on [Exhibit D-2](#).

Multi Family uses within the PD shall be designed with units accessible to a temperature controlled interior corridor. No external corridors shall be permitted.

- a. Internal corridor means corridors located internal to the building complex and not along the building perimeter or adjacent to a public street or internal access easement. As shown on Figure 1.
- b. External corridor means a corridor that is located along the perimeter of the building complex and adjacent to a public street or internal access easement.
- c. “Exit ways” are openings from the internal corridors to the perimeter of the building complex. As shown on Figure 1.



FIGURE 2.

- d. On the ground floor, “exit ways” from an interior corridor shall be enclosed with doors with controlled access.
- e. Corridors and or “exit ways” on the upper levels that open to the adjacent public street or internal access easements shall be screened from public view by the use of a decorative screen that will limit the view of any stairs.

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- f. Temperature in the corridors shall be controlled by the use of a mechanical ventilation system to include at a minimum ceiling fans installed at regular intervals not to exceed 40 feet on center, automatically activated by a thermostat.
 - g. Internal corridors shall include at least the following minimum architectural finishes:
 - Decorative and or recessed lighting fixtures.
 - Door frames and base boards of a contrasting color.
- 2. Functions Closely Related to Banking excludes check cashing, credit access businesses, and motor vehicle title loans (as defined in Chapter 393 of the Texas Financial Code)
 - 3. For Laundry, Dry Cleaning Pickup & Receiving Station, rear doors must be screened by masonry screening walls that are a minimum 6 feet in height
 - 4. Bars / Pubs are limited to a maximum of 2,500 square feet gross leasable area per establishment.
 - 5. Accessory uses, include uses which are subordinate to and incidental to the principal use. All uses must be allowed per the zone

D. DEVELOPMENT REGULATIONS

- 1. **Commercial** Buildings located within **Phase 1 and Phase 2** are limited to 1 story, no more than 35 feet above ground level. The measurement shall be taken from the finished ground elevation to the mean roof height (No other height exceptions shall apply).
- 2. All multi-family Residential development shall conform to the (R-3) Medium Density Residential zoning district with the following exceptions:
 - (a) Density: A maximum of 320 units.
 - (b) Off-street parking for Multi-family; **475 spaces required**, 1.33 parking spaces per one-bedroom unit, 1.66 parking spaces per two-bedroom unit **and 2.0 parking spaces per three-bedroom unit.**
 - (c) Height: Maximum height of structures: 4 stories, but no more than 65 feet above ground level. The measurement shall be taken from the finished ground elevation to the mean roof height except as follows: Chimneys, ornamental tower spires, cooling towers, elevator bulkheads, fire towers, stacks, roof gables, parapet walls, and mechanical equipment may extend an additional Height not to exceed 15 feet above the maximum Height allowed for the Structure to which it is affixed.
 - (d) Compensating Open Space: In addition to six hundred (600) square feet of open space per unit, a Central Plaza, and a pedestrian trail, along the northern boundary as described in Paragraph E below, shall be required.
 - (e) Building Area: not more than 50 percent of the total site area shall be covered by building mass.
 - (f) Buffering and screening:
 - i. A fifty foot (50') wide setback shall be provided along the northern boundary of the site, adjacent to existing single family residential.

- ii. An 8' high opaque, concrete panel fence will be installed along the northern boundary of the site, adjacent to existing single family residential and along the southern boundary and the west boundary along Lakeside Drive. An open style "wrought iron" metal security fence with masonry columns may be constructed within the interior property lines for the multi-family development.

3. Area Regulations:

(a) Street Setbacks:

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Street Setback Criteria						
	Landscape and Parking Setbacks			Building Setbacks		
	Front	Side**	Rear	Front	Side*	Rear
SH 146	20'	5'	5'	40'	40'	10'
Repsdorph	15'	5'	5'	25'	25'	10'
Lakeside	15'	5'	5'	25'	25'	10'

*For lots where buildings abut each other for a contiguous shopping center, the building side setback can be zero feet.

**For lots where the lot line runs in the middle of a driveway for a contiguous shopping center, the landscape setback can be zero feet.

(b) *Lot size:* A minimum site of 10,000 square feet in area shall be required.

(c) *Lot width:* Each lot shall have a minimum width of not less than 80 feet at the front building line.

(d) *Lot depth:* Each lot shall have a minimum depth of not less than 125 feet.

4. Multi-family resident and visitor access is limited to only the gated entries located off State Highway 146. "911-access gates" for the exclusive use of emergency response vehicles will be constructed at the entrances from Lakeside Drive as provided for in Exhibit D-3.

5. Off-street parking for **Commercial** Buildings 1 – 7: **239 required** spaces. Shared parking for all permitted uses on **Table 1.0: Permitted Uses** (eight spaces per thousand square feet).

Compact parking spaces are permitted as follows: no more than 15 compacts spaces, to be located in groups of 5 contiguous spaces and be clearly identified as compact parking spaces.

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6. Paving:

- (a) All parking lots and vehicle use areas must be constructed of concrete.
- (b) Driveways may be constructed of concrete, or paved with interlocking, multicolored pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
- (c) Construction of paving and parking areas shall conform to the schedule illustrated on **Exhibit D-12b, Phasing Plan**, except that construction of successive phases may be constructed simultaneous to the proceeding phase.

7. Supplementary Regulations:

- (a) No temporary structures, including recreational vehicles, construction trailers, or travel trailers may be used for on-site dwelling purposes.
- (b) Temporary structures for uses incidental to construction work on the premises which are removed upon completion or abandonment of construction work are allowed upon permit from the building official.
- (c) Utilities, including, but not limited to, electrical lines, gas lines, telephone lines, and cable television lines, shall be installed underground.
- (d) No trailer or semitrailer may be used for the storage of retail or wholesale merchandise on any property in the district for a period of time exceeding 12 hours.
- (e) No trailer motor vehicle, semitrailer or shipping container may be used for the display, vending or retailer of any merchandise at any time.
- (f) Outside display of merchandise is prohibited.
- (g) Rooftop or ground level mechanical equipment shall be totally screen from view by either parapet walls at the same height of the mechanical units for rooftop mounts or by providing screening for ground mounted units.
- (h) Exterior dumpster/garbage/waste containers shall be placed a minimum of ten feet from any side or rear property line. Containers shall not project beyond the front building line of the principal structure. Containers shall be fully screened so not to be visible from off the property. Each trash container enclosure shall be constructed of impervious material with a gate.
- (i) Loading docks are prohibited between the street right-of-way and any building façade fronting a street right-of-way. Loading docks shall be situated toward the rear of structures. Loading docks may not be used for any type of long-term storage. Any vehicle, trailer or

material left standing in a loading dock for more than a 12-hour period shall be deemed a violation of this ordinance.

E. LANDSCAPE AND PEDESTRIAN CIRCULATION REGULATIONS

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1. Landscape buffer (Single-family adjacency consideration):
 - (a) 50-foot wide minimum landscape buffer shall be provided along the northern property boundaries adjacent to existing single family lots.
 - (b) An eight foot (8') opaque, concrete panel fence shall be constructed during the initial phase of construction along the northern property boundaries adjacent to the existing single family lots.
2. Central Plaza: A central plaza of 0.75 acres with recreational amenities, performance stage, public restrooms and water features shall be constructed in the center of the site as shown on [Exhibit D-2, Site Plan](#)
3. Lighting used to illuminate sidewalks, landscape buffers, bicycle parking areas, or other common open space shall be arranged, located, or screened to direct light away from existing single-family residential lots.
4. Sidewalks: All sidewalks shall be paved with concrete and be a minimum of four (4) feet wide and conform to the City of Seabrook standards.
5. Landscaping: Shall conform to the City of Seabrook standards as stated in Section 7.01 Landscaping Requirements of the Seabrook Code of Ordinance.

F. SIGNAGE as shown on [Exhibit D-6, Sign Location and Details](#)

1. State Highway 146
 - 16' wide x 60' (maximum) high monument development sign in front of **Commercial Pad 2**, 32 square feet per sign face. (sign A-1, shown on [Exhibit D-6](#))
 - 16' wide x 25' (maximum) high range monument multi-tenant sign beside the Pump Yard, 144 square feet per sign face. (sign A, shown on [Exhibit D-6](#))
 - 16' wide x 30' (maximum) high range multi-tenant monument sign, 144 square feet per sign face or 16' wide x 14' high monument sign, 100 square feet per sign face beside Multi-family fire lane entrance gate. (sign A or B, shown on [Exhibit D-6](#))
2. Lakeside Drive
 - 16' wide x 10' (maximum) high monument signs on each side of main entrance, 100 square feet per sign face. (sign B, shown on [Exhibit D-6](#))

G. BUILDING REGULATIONS

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1. Phase 1, Multi-family, the PUD shall require the following regulations for Residential Developments:

- (a) Color palette shall be uniform between all phases of the development.
- (b) Primary exterior finishes are limited to brick, stone (natural, cast, or cultured-textured), textured concrete panels, glass, and fiber cement siding, cement plaster, **cementitious stucco** and shall comprise at least 70% of each façade.
- (c) Secondary exterior finishes shall include wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), and **EFIS (for architectural features)**, and shall comprise no more than 30% of each façade.
- (d) Architectural Metals may be used for canopies, parapet walls, roof systems, and miscellaneous trim work.
- (e) Roofing materials shall be limited to the following:
 - i. Slope roof – dimensional composite shingles, metal, tile
 - ii. Flat roof – shall meet the requirements as required by the IBC

2. **Commercial Buildings in Phase 1 and 2**, the PUD shall require the following regulations for **Commercial**

- (a) The building's architectural features and treatment shall be applied to all sides of buildings. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building. All sides of a commercial building shall display a similar level of quality and architectural detailing.
- (b) *Blank Walls Prohibited*: Any wall that faces a street, connecting pedestrian walkway and that exceeds 30 feet in length shall include a minimum of two of the following within successive 30-foot section or fraction thereof. Change in wall plane, such as projections or recesses, having a depth of at least three percent of the length of the façade and extending at least ten percent of the length of the façade.
 - Change in texture or pattern.
 - Windows.
 - Covered walkways or entrances.
 - Canopies; or
 - An equivalent element that subdivides the wall into human-scale proportions.
 - Tri-partite architecture

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(c) All primary exterior building materials shall be durable, economically maintained, and of a high quality that will retain its appearance over time. The following material are allowed as primary exterior building materials:

- Brick and materials identical in appearance
- Sandstone or natural or synthetic stone
- Tinted and textured concrete masonry units
- Wood and composite material identical in appearance. Wood may include horizontal boards and board-and-batten
- Cast stone
- **Cementitious** stucco

(d) *Prohibited Primary Building Exterior Materials*

- Smooth-faced concrete block
- Smooth-faced tilt-up concrete panels
- Prefabricated metal panels, galvanized tin or other metals
- Vinyl

EDGE AT SEABROOK TOWN CENTRE

Location Map

Developed By:



HS Development Group

WILD OAK FOREST LN.

146
TEXAS

STATE HIGHWAY 146

LAKE SIDE DR.

REPSDORPH RD.

REPSDORPH RD.

DRAFT
19.5355 Acres



0' 150' 300' 600'

SCALE: 1"=300'
DATE: 03.2022

EDGE AT SEABROOK TOWN CENTRE

Site Plan

Developed By:

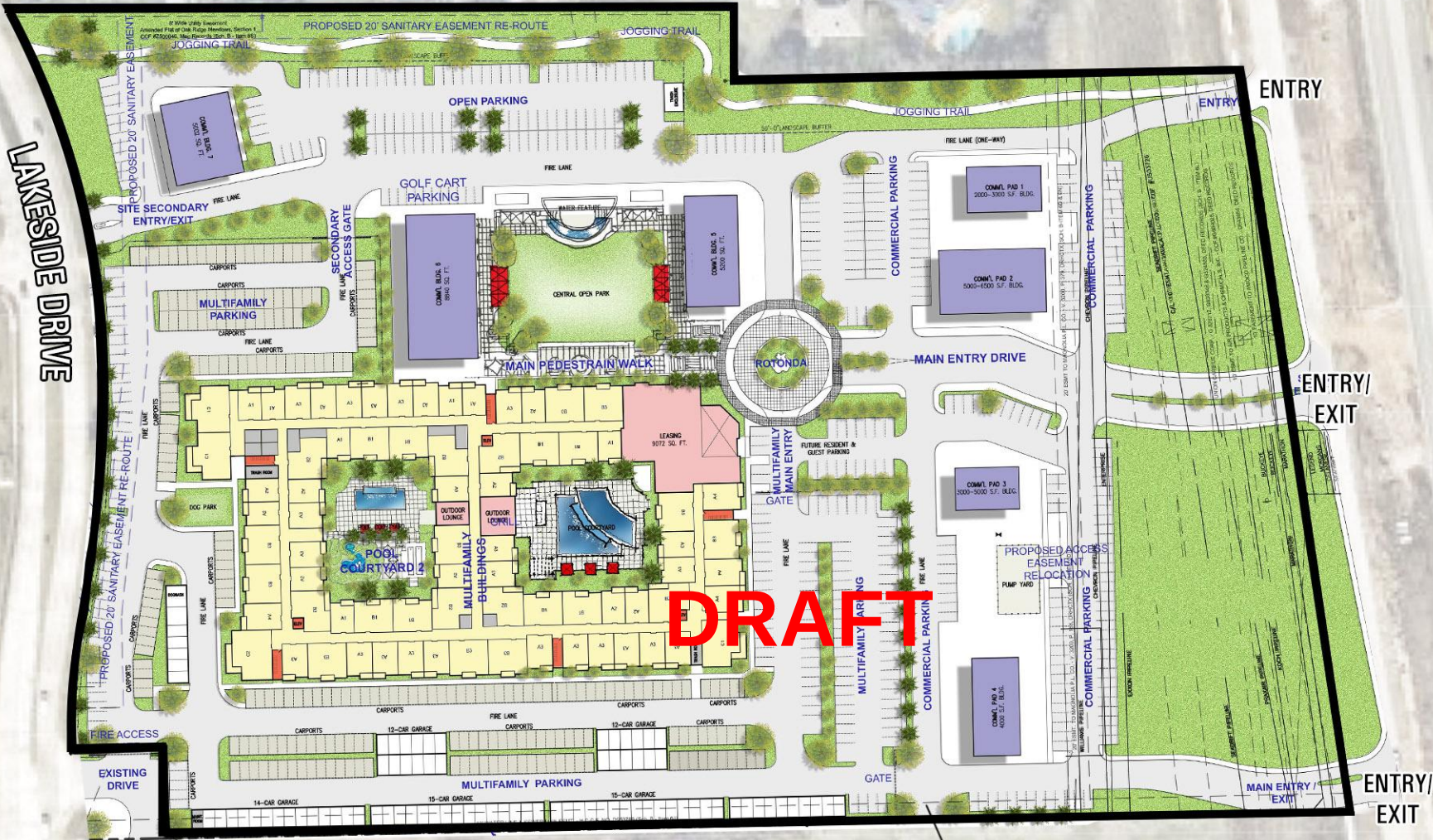


HS Development Group

LAND USE TABLE				
	MULTI-FAMILY			
Level	1-BR	2-BR	3-BR	Subtotal
Level 1	45	25	4	74
Level 2	47	29	4	80
Level 3	48	30	5	83
Level 4	48	30	5	83
Subtotal	188	114	18	320
%	59%	35%	6%	
TOTAL		320*		
1-BR	131,419 SF			
2-BR	133,465 SF			
3rd Floor	26,376 SF			
Total	291,260 SF			

*Maximum 320 units permitted.

COMMERCIAL	
Phase 1	
Commercial Pad 5	5,000 SF
Commercial Pad 6	5,000 SF
Phase 2	
Commercial Pad 1	3,000 SF
Commercial Pad 2	6,000 SF
Commercial Pad 3	3,000 SF
Commercial Pad 4	3,000 SF
Commercial Pad 7	5,000 SF
Tuck-Under Retail (Attached to MF)	4,000 SF
TOTAL RENTABLE	19,020 SF



0' 75' 150' 300'

SCALE: 1"=150'
DATE: 03.2022



JONES CARTER



EDGE AT SEABROOK TOWN CENTRE

Access Detail

Developed By:



HS Development Group

LEGEND

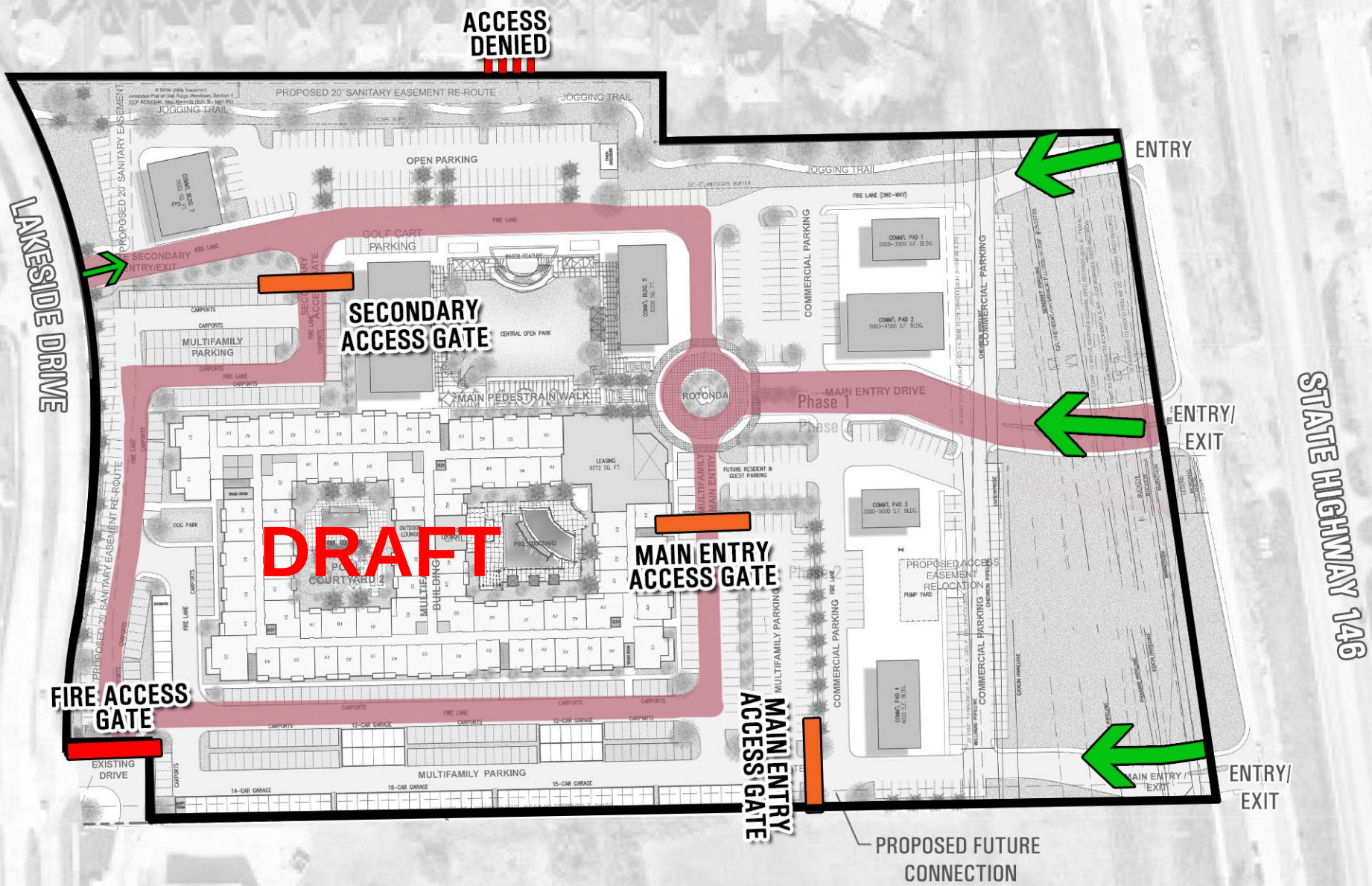
Indicates emergency fire access only gate.

Indicates secondary access gate.

Indicates access denied

Indicates access points.

Indicates fire lane



NORTH

0' 75' 150' 300'

SCALE: 1"=150'

DATE: 03.2022

EDGE AT SEABROOK TOWN CENTRE

Parking Plan

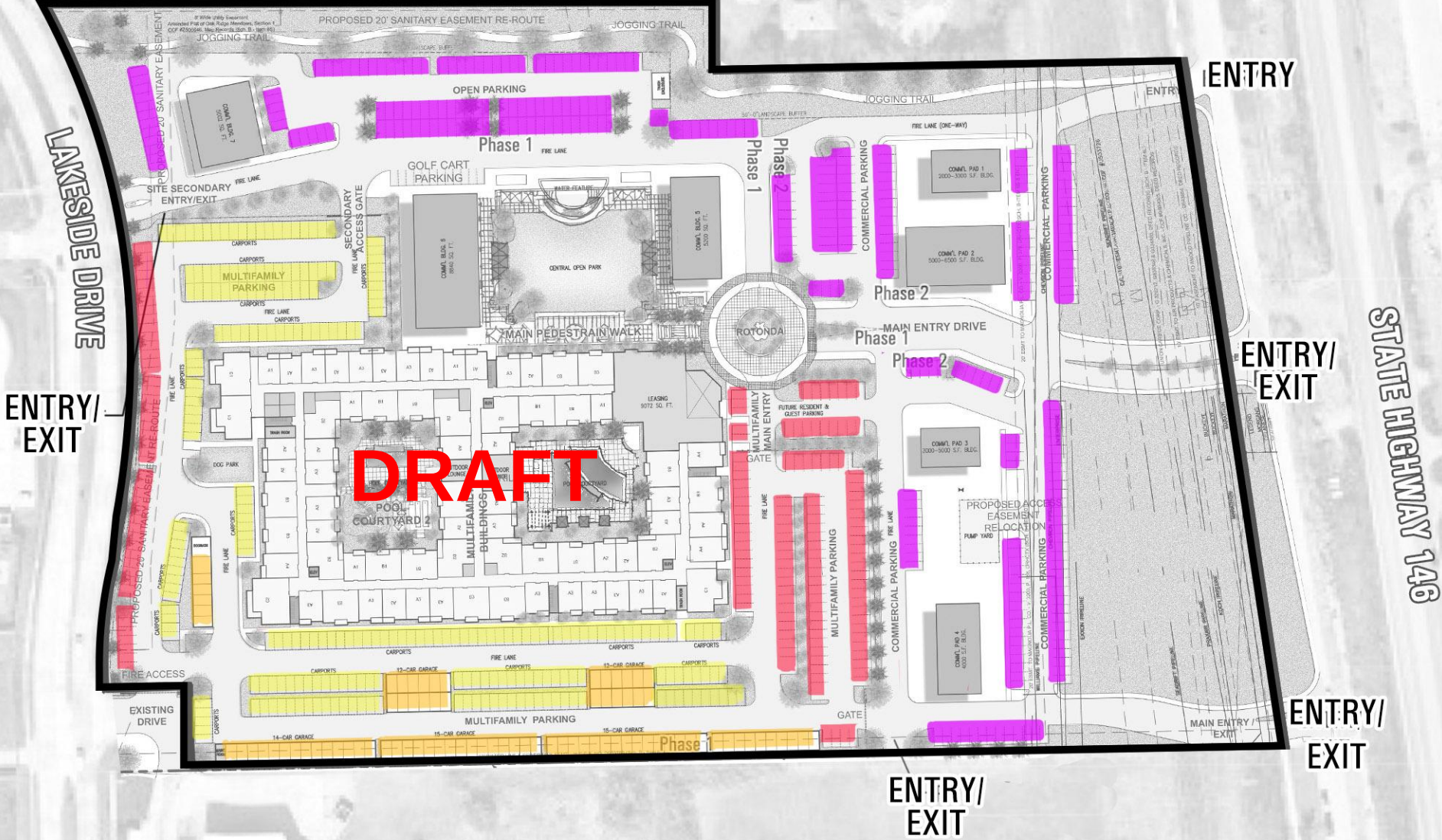
Developed By:



HS Development Group

PARKING PROVIDED	
Phase 1:	
Parking Category	No. Spaces
Garages	84
Carport	244
Open Parking - MF	173
TOTAL	501
Phase 2:	
Parking Category	No. Spaces
Open Parking - Retail	290
TOTAL	290
TOTAL SPACES PROVIDED 791	

PARKING REQUIRED		
Multi-Family Units		
1-BR	2-BR	3-BR
188 Units	114 Units	18 Units
Required parking:		
1.33 SP/Unit	1.66 SP/Unit	2.0 SP/Unit
250 spaces	189 spaces	36 spaces
TOTAL MF REQUIRED:		475 SPACES
Commercial		
Maximum 30,020 SF Restaurant dining area @ 1 sp/100 SF		219 Spaces
Minimum 4,000 SF Non-Restaurant dining area @1sp/200 SF		20 Spaces
TOTAL RETAIL REQUIRED:		239 SPACES
TOTAL SPACES REQUIRED		714



EDGE AT SEABROOK TOWN CENTRE

Open Space Plan

Developed By:



HS Development Group

Open Space Provided:

Open Space Category	Acres
General Open Space	4.7
Plaza	0.75 (min.)
TOTAL	5.5 Acres

Open Space Required:

600 SF/UNIT x 320 UNITS	4.4 Acres
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In addition to the required open space, a pedestrian pathway, "Jogging Trail" shall be constructed between S.H. 146 and Lakeside Drive.

Plaza to include recreational amenities, a performance stage, public restrooms and water features.

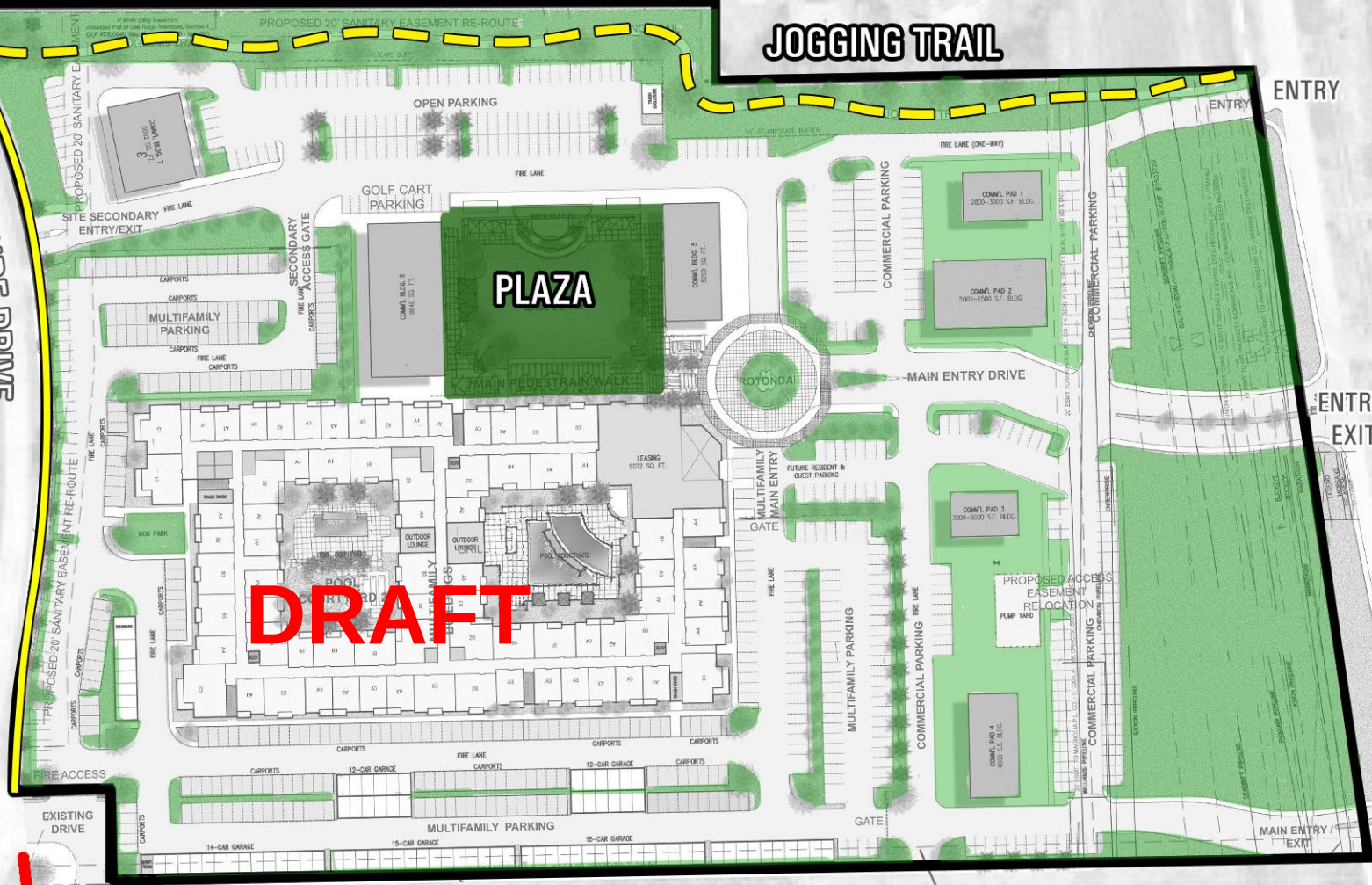
Indicates proposed 4' sidewalk.

EXISTING 4' SIDEWALK

JOGGING TRAIL



PROPOSED PLAZA



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EXISTING 4' SIDEWALK

EXISTING 6' JOGGING TRAIL



0' 75' 150' 300'

SCALE: 1"=150'
DATE: 03.2022



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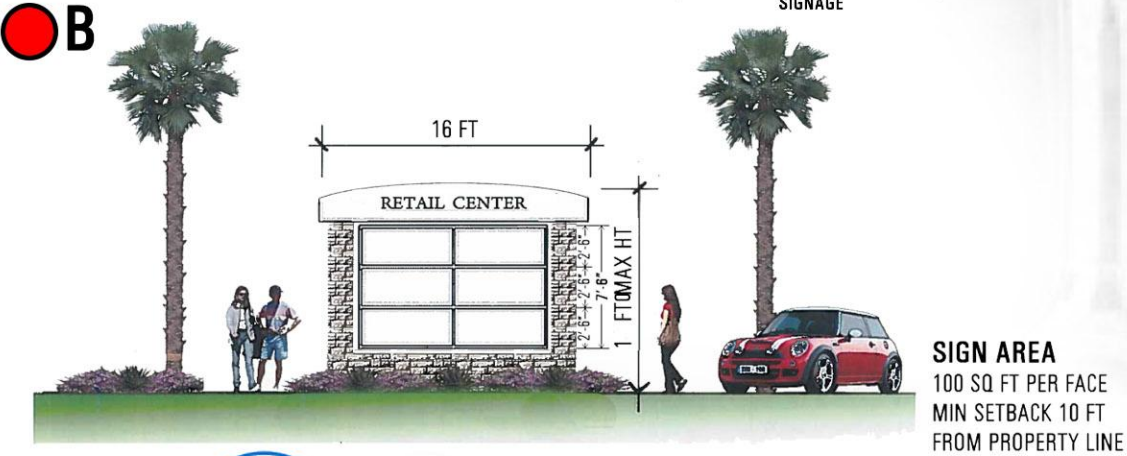
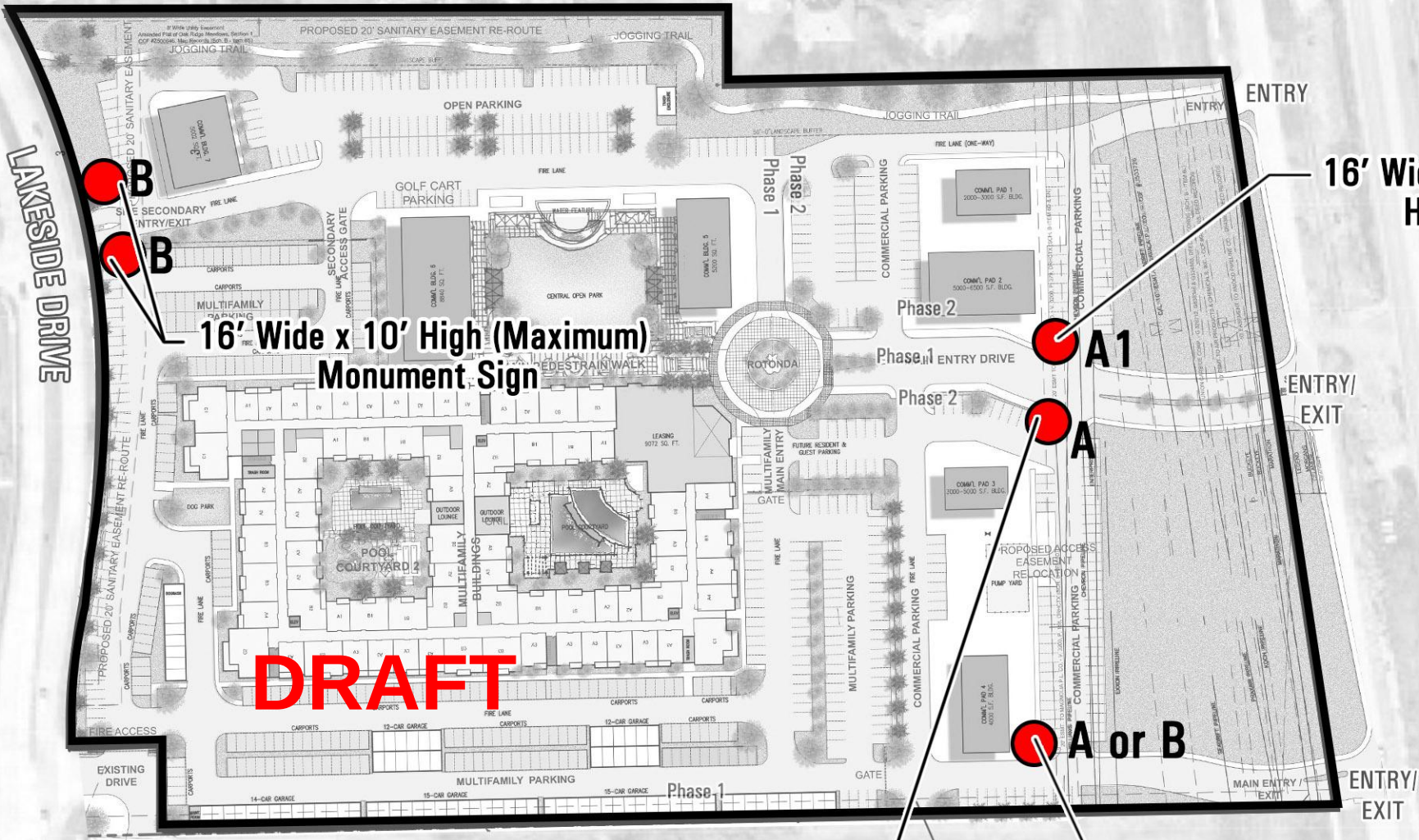
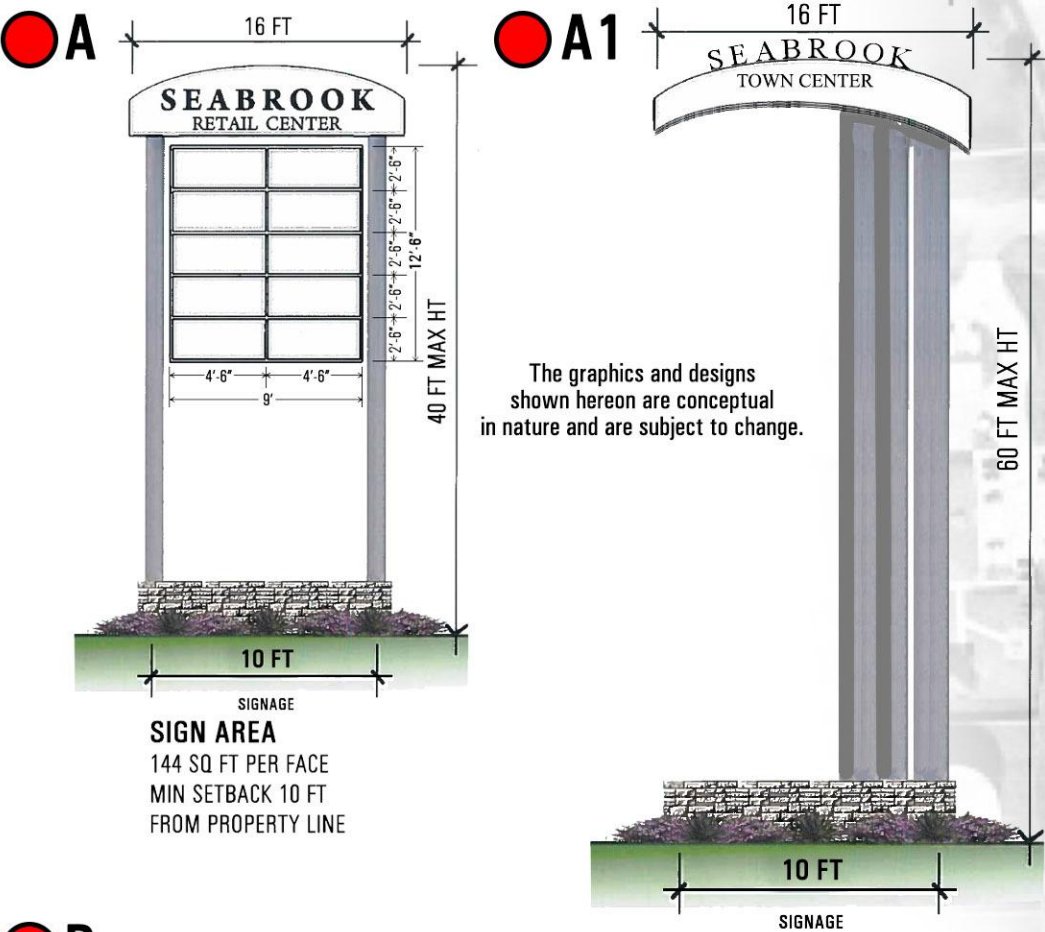
EDGE AT SEABROOK TOWN CENTRE

Sign Location and Details

Developed By:



HS Development Group



LEGEND

● Indicates Proposed Conceptual Sign Location

16' Wide x 25' (Maximum) High Pylon Sign

16' Wide x 30' High (Maximum) Pylon Sign or 16' Wide x 14' (Maximum) High Monument Sign

NORTH

0' 75' 150' 300'

SCALE: 1"=150'

DATE: 03.2022

EDGE AT SEABROOK TOWN CENTRE

Aerial Perspective

DRAFT

Developed By:



HS Development Group



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The graphics , elevations and designs shown hereon are conceptual in nature and are subject to change.

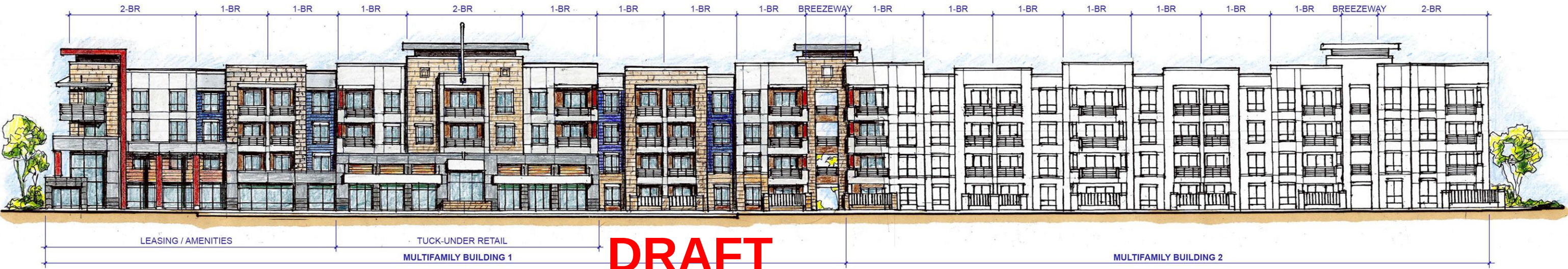
EDGE AT SEABROOK TOWN CENTRE

Building Elevations - Multi-Family

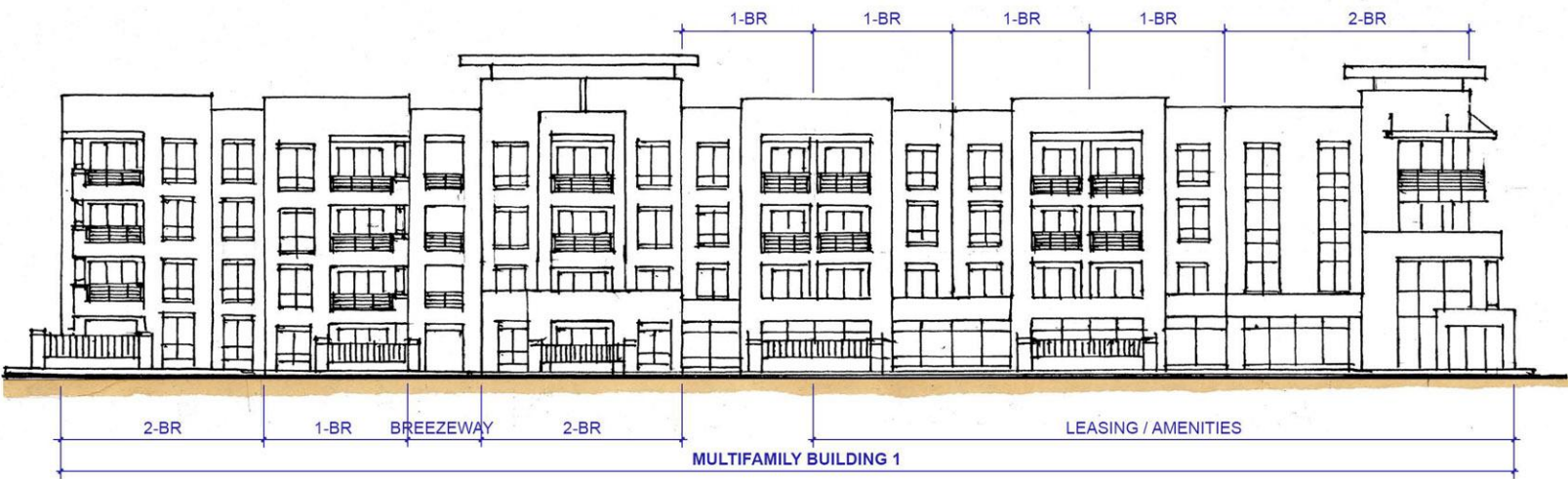
Developed By:



HS Development Group



DRAFT
VIEW FROM PLAZA
MULTIFAMILY NORTH ELEVATION



EAST FACADE, VIEW FROM STATE HIGHWAY 146
MULTIFAMILY EAST FACADE



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EDGE AT SEABROOK TOWN CENTRE

Building Elevations - Multi-Family

Developed By:



HS Development Group

The graphics , elevations and designs shown hereon are conceptual in nature and are subject to change.



MULTIFAMILY BUILDING

ROTUNDA

RETAIL

VIEW FROM ROTUNDA
SITE EAST OVERALL FACADE
SCALE: 1/16"= 1'-0"

DRAFT



PLAZA

MULTIFAMILY BUILDING



JONES | CARTER



EDGE AT SEABROOK TOWN CENTRE

Utilities

Developed By:



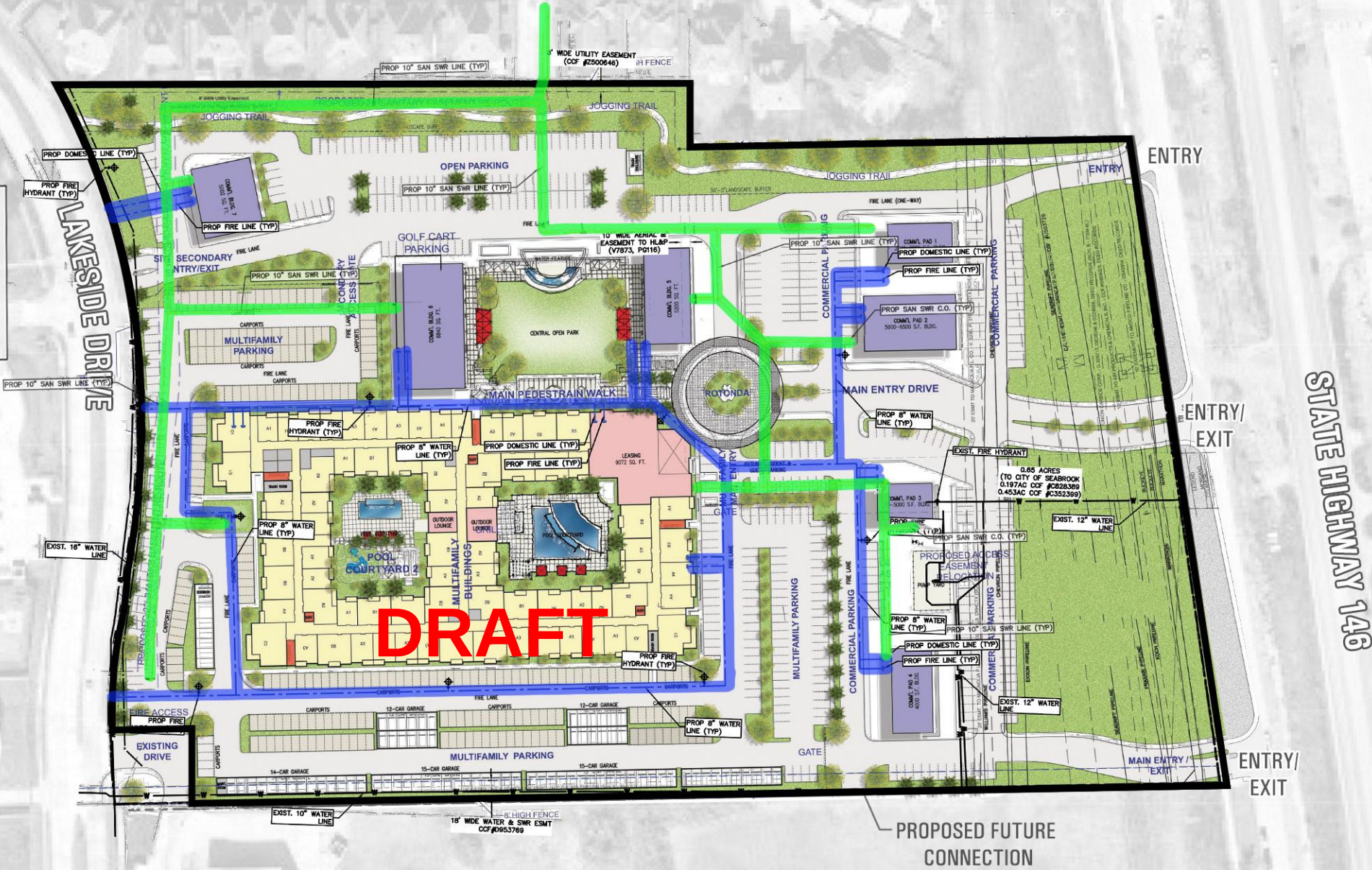
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SANITARY SEWER, WATER & STORM LEGEND

SANITARY SEWER LINE

WATER LINE

SANITARY MANHOLE



0' 75' 150' 300'

SCALE: 1"=150'

DATE: 03.2022

EDGE AT SEABROOK TOWN CENTRE

Drainage Plan

Developed By:

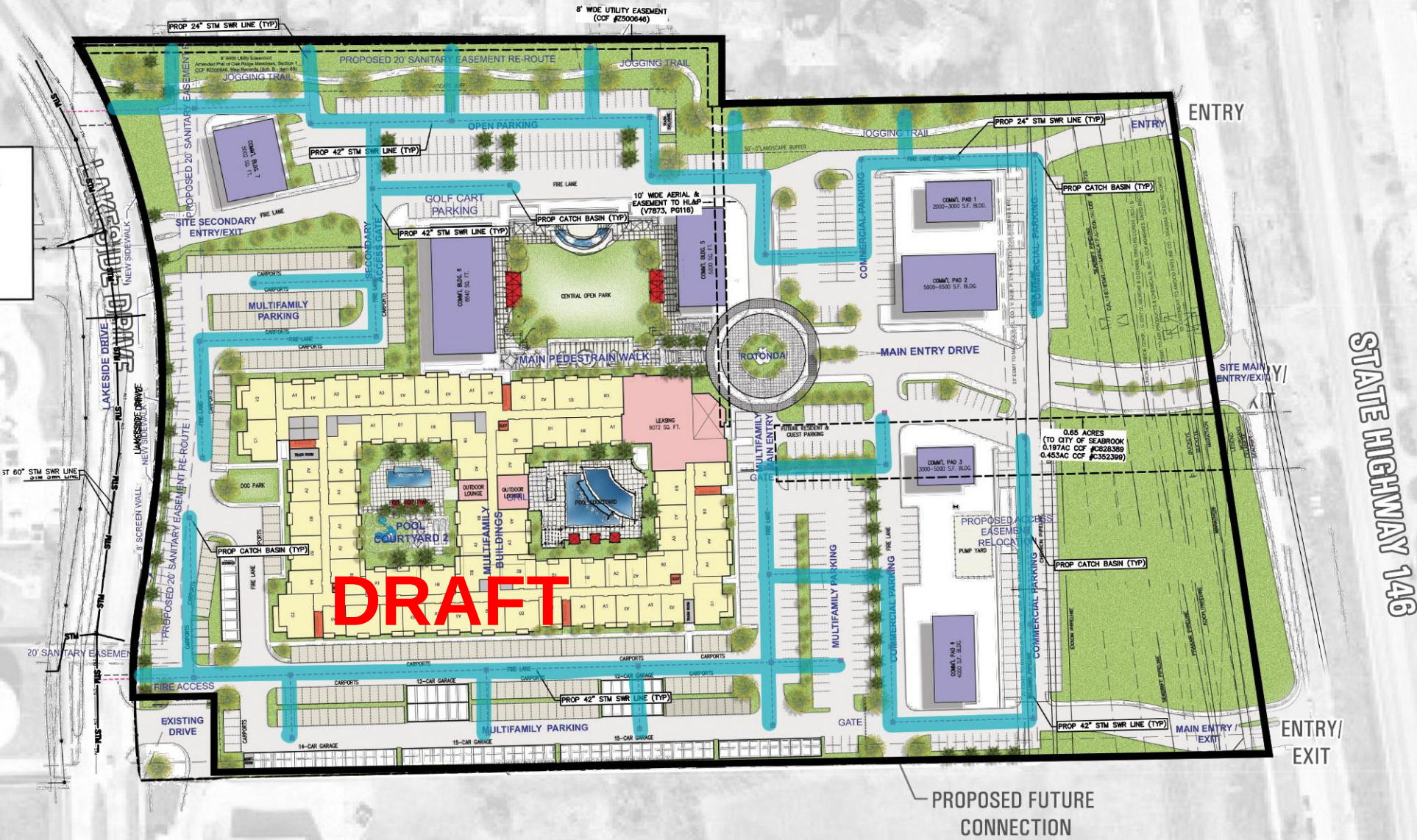


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SANITARY SEWER, WATER & STORM LEGEND

STORM LINE

STORM INLET



NORTH

0'

75'

150'

300'

SCALE: 1"=150'

DATE: 03.2022

EXHIBIT D-12

EDGE AT SEABROOK TOWN CENTRE PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT SCHEDULE



HS Development Group

PHASE 1: Multi-Family – Commercial 5 & 6, Plaza, Rotonda and All Paving:

The following is an estimate based on favorable market conditions and project leasing:

- A. Third and Fourth Quarter 2022: Design and plan review and approval
- B. Fourth Quarter 2022/ First Quarter 2023: Begin on site construction, including eight foot (8') opaque, concrete panel fence along the northern property boundaries adjacent to the existing single family lots
- C. Fourth Quarter 2024/ First Quarter 2025: Construction complete
- D. Third and Fourth Quarter 2024: Begin occupancy.

PHASE 2: Commercial Pads

The following is an estimate based on favorable market conditions and project leasing:

- A. Commercial pad sites only will be ready for construction Third and Fourth Quarter 2024.

Developer to provide quarterly updates on status of master development.

EDGE AT SEABROOK TOWN CENTRE

Phasing Plan

Developed By:



HS Development Group

Phase 1: Commercial Buildings 5 and 6, Plaza Rotonda and all paving

Third/ Fourth Quarter 2022:
Design and plan review and approval.

Fourth Quarter 2022/ First Quarter 2023:
Begin on-site construction.

Fourth Quarter 2024/ First Quarter 2025:
Construction complete

Third/ Fourth Quarter 2024:
Begin occupancy

Phase 2: Commercial Pads

Third/ Fourth Quarter 2024:
Commercial pad sites only will be ready for construction.

