



**SEABROOK CITY COUNCIL
NOTICE OF SPECIAL JOINT CITY COUNCIL AND PLANNING & ZONING
COMMISSION MEETING
TUESDAY, AUGUST 6, 2024 - 5:00 PM**

For city information visit www.seabrooktx.gov
For Agenda Center visit www.seabrooktx.gov/agendacenter

NOTICE IS HEREBY GIVEN THAT THE SEABROOK CITY COUNCIL AND THE PLANNING AND ZONING COMMISSION WILL MEET ON **TUESDAY, AUGUST 6, 2024 AT 5:00 PM** IN THE CITY HALL CITY COUNCIL CHAMBERS, 1700 1ST STREET, SEABROOK, TEXAS, **TO DISCUSS, CONSIDER, AND IF APPROPRIATE, TAKE ACTION** WITH RESPECT TO THE ITEMS LISTED BELOW.

PLEDGE OF ALLEGIANCE

1. PUBLIC COMMENTS AND ANNOUNCEMENTS

At this time we would like to listen to any member of the audience on any subject matter, whether or not that item is on the agenda. All comments are limited to a maximum of four minutes for each speaker, shall be limited to City business or City-related business or matters of general public interest, and shall not include any personal attacks. In accordance with the Texas Open Meetings Act, members may not discuss or take action on any item that has not been posted on the agenda. When your name is called, please come to the podium and state your name and address clearly into the microphone before making your comments. Thank you.

REGISTER ONLINE TO SPEAK IN PERSON DURING PUBLIC COMMENTS:
www.seabrooktx.gov/publiccomment

2. SPECIFIC PUBLIC HEARING

2.1 Conduct a Joint Public Hearing on a request for approval of a Final Planned Unit Development (Final PUD) to create a "World Class Freezer Facility Planned Unit Development" comprising a 134,632 square foot freezer warehouse, 84 vehicle parking spaces, and 19 tractor-trailer loading spaces located on approximately 7.19 acres tract of land. *Sean Landis, Deputy City Manager | Planning and Zoning Director*

THE CITY COUNCIL RESERVES THE RIGHT TO HEAR ANY OF THE ABOVE DESCRIBED AGENDA ITEMS THAT QUALIFY FOR AN EXECUTIVE SESSION IN AN EXECUTIVE SESSION BY PUBLICLY ANNOUNCING THE APPLICABLE SECTION NUMBER OF THE OPEN MEETINGS ACT, (CHAPTER 551 OF THE TEXAS GOVERNMENT CODE) THAT JUSTIFIES EXECUTIVE SESSION TREATMENT.

THIS FACILITY IS WHEELCHAIR ACCESSIBLE AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR OTHER ACCOMMODATIONS OR INTERPRETIVE SERVICES, MUST BE MADE, 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT THE CITY SECRETARY'S OFFICE AT (281) 291-5663 OR CITYSEC@SEABROOKTX.GOV FOR FURTHER INFORMATION.

I certify that this notice was posted on the bulletin board on or before Friday, August 2, 2024 no later than 6:00 p.m. and that this notice will remain posted until the meeting has ended.

Rachel Lewis, TRMC



**JOINT PUBLIC HEARING NOTICE
SEABROOK CITY COUNCIL AND PLANNING & ZONING COMMISSION
TUESDAY, AUGUST 6, 2024 – 5:00 P.M.**

NOTICE IS HEREBY GIVEN THAT THE CITY COUNCIL AND PLANNING AND ZONING COMMISSION OF THE CITY OF SEABROOK WILL HOLD A JOINT PUBLIC HEARING ON **TUESDAY, AUGUST 6, 2024, AT 5:00 P.M.** IN SEABROOK CITY HALL, 1700 FIRST STREET, SEABROOK, TEXAS, COUNCIL CHAMBERS TO DISCUSS THE AGENDA ITEM LISTED BELOW.

THIS JOINT HEARING IS OPEN TO THE PUBLIC AND EVERYONE ATTENDING WILL HAVE THE OPPORTUNITY TO SPEAK FOR OR AGAINST THIS REQUEST IN ACCORDANCE WITH THE PROCEDURES OF THE COUNCIL/COMMISSION. ALL REQUIRED DOCUMENTS REGARDING THIS REQUEST ARE AVAILABLE FOR REVIEW AT CITY HALL IN THE COMMUNITY DEVELOPMENT DEPARTMENT WEEKDAYS FROM 8:00 A.M. TO 5:00 P.M. PLEASE CALL (281) 291-5705 IF YOU HAVE QUESTIONS.

SPECIFIC PUBLIC HEARING

Conduct a Joint Public Hearing on a request for approval of a Final Planned Unit Development (Final PUD) to create a “World Class Freezer Facility Planned Unit Development” comprising a 134,632 square foot freezer warehouse, 84 vehicle parking spaces, and 19 tractor-trailer loading spaces located on approximately 7.19 acres tract of land.

Owner: WMF Investments, Inc., 16865 Diane Lane, Suite 200, Houston, TX 77058.

Applicant: Camfield Partners, LLC., 8895 Research Drive, Suite 200, Irvine, CA, 92618.

Legal Description:

Tract 1. Being Restrictive Reserve “A” (being 4.6900 acres) in Block One (1) of the Bayport Logistics Center, Phase Two (2), an addition to the City of Seabrook, in the Ritson Morris Survey, Abstract Number 52, in Harris County, Texas, according to the map or plat thereof recorded at Film Code Number 662034 of the Map Records of Harris County, Texas.

Tract 2. Being a tract or parcel of land containing 2.500 acres, in the Ritson Morris Survey, Abstract 52, Harris County, Texas, said tract being out of and part of a certain 19.4174 acres tract of land, described in those certain Warranty Deed(s) from Vannie E. Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk’s File No(s). D-486035 and D-486036.

Location: This property is located west of Old State Highway 146, east of State Highway 146, north of Red Bluff Road, and South of Port Road.

CERTIFICATE

I certify that this notice was posted on the bulletin board at Seabrook City Hall on Thursday, July 18, 2024, on or before 5:00 p.m. and that it will remain posted until after the completion of the hearing.

/s/ Kiarra Bellow
Administrative Assistant

ORDINANCE NO. 2024-17
WORLD CLASS FREEZER FACILITY (PUD)
“PLANNED UNIT DEVELOPMENT”

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF SEABROOK, TEXAS APPENDIX A, “COMPREHENSIVE ZONING”, ARTICLE 2, “ADMINISTRATION”, SECTION 2.05, “OFFICIAL ZONING MAP”, BY REZONING 7.19 ACRES SITUATED IN ABSTRACT 52, OF THE RITSON MORRIS SURVEY, IN SEABROOK, HARRIS COUNTY, TEXAS, GENERALLY LOCATED WEST OF OLD STATE HIGHWAY 146, EAST OF STATE HIGHWAY 146, NORTH OF RED BLUFF ROAD, AND SOUTH OF PORT ROAD; AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT “A”, FROM (C-2) “MEDIUM COMMERCIAL DISTRICT”, AND (LI) “LIGHT INDUSTRIAL DISTRICT”, TOO (PUD) “PLANNED UNIT DEVELOPMENT”, FOR THE DEVELOPMENT OF A 134,632 SQUARE FOOT FREEZER WAREHOUSE, 84 VEHICLE PARKING SPACES, AND 19 TRACTOR-TRAILER LOADING SPACES; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES INCONSISTENT OR IN CONFLICT HEREWITH; PROVIDING FOR A PENALTY IN AN AMOUNT NOT TO EXCEED \$2,000 FOR EACH DAY OF VIOLATION OF ANY PROVISION HEREOF BY INCLUSION INTO THE CODE; AND PROVIDING FOR SEVERABILITY.

WHEREAS, the City of Seabrook (the “City”) has received an application for rezoning by Camfield Partners, LLC., (the “Applicant”), for certain real property of approximately 7.19 acres located west of Old State Highway 146, east of State Highway 146, north of Red Bluff Road, and South of Port Road; and being out of land situated in the Ritson Morris Survey, Abstract 52, Harris County, Texas (the “Property”), with the Property being more particularly depicted and described in the attached “Exhibit A”, (the “Property”), which is incorporated by reference for all purposes; and

WHEREAS, in its application, the Applicant proposes to develop and use the Property as a warehouse project containing approximately 134,632 square feet of floor space for the warehousing of frozen goods, materials, and products to be distributed throughout the local area and abroad; and

WHEREAS, in its application, the Applicant proposes to rezone the Property from “C-2” (Medium Commercial District) and “LI” (Light Industrial District) to “PUD” (Planned Unit Development) and has submitted a development plan providing for the depiction and description of the World Class Freezer Facility Planned Unit Development (the “Plan”), with the Plan being attached as “Exhibit B”, and incorporated by reference for all purposes, and which is on file with the City Secretary; and

WHEREAS, the Seabrook Planning and Zoning Commission (the “P&Z”) and the City Council of the City (the “Council”) conducted a public hearing to consider approval of the preliminary plan for the PUD rezoning request submitted by the Applicant, and with the P&Z filing a report recommending approval of the rezoning request by the Applicant on July 2, 2024 which Council thereafter approved; and

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48
49
50 **WHEREAS**, the P&Z and the Council conducted a public hearing to consider approval
51 of the final plan for the PUD rezoning request submitted by the Applicant, with the P&Z filing
52 a report recommending approval of the rezoning request by the Applicant on August 6, 2024;
53 and
54

55 **WHEREAS**, the subject hearings were duly called as provided by the laws of the State
56 of Texas and Appendix “A” of the City’s Code of Ordinances, that at such hearings all persons
57 attending were allowed to be heard on the question of whether or not to rezone the Property as
58 requested by the Applicant, and to determine whether such rezoning would promote the public
59 health, safety, convenience, or general welfare of the citizens and would be in conformance
60 with the Appendix “A” of the City’s Code of Ordinances and the City’s Comprehensive Plan;
61 and
62

63 **WHEREAS**, all public notices have been published, mailed, and provided in
64 accordance with the laws of the State of Texas and Appendix “A” of the City’s Code of
65 Ordinances; and
66

67 **WHEREAS**, as a result of the said public hearings and the recommendation of the
68 P&Z as contained in its final report, the Council deems it appropriate to grant the Applicant’s
69 request for rezoning of the Property, subject to certain regulations, restrictions, conditions, and
70 all applicable provisions of the City’s Code of Ordinances; and
71

72 **NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF**
73 **SEABROOK, TEXAS:**
74

75 **SECTION 1. FINDINGS.**
76

77 The facts and matters set forth in the preamble of this Ordinance are hereby found to
78 be true and correct, it is hereby understood that the City Council (the “Council”) of the City of
79 Seabrook, Texas (the “City”) is relying upon the express representations of Camfield Partners,
80 LLC., (the “Applicant”) appearing in the documents submitted to the City for final approval,
81 including the rezoning application, oral representations made to the Planning and Zoning
82 Commission (the “P&Z”) and the Council to induce approval of the rezoning made the subject
83 of this Ordinance, the final report from the P&Z, the minutes of P&Z and the Council, the
84 identification of the property that is the subject of this Ordinance (the “Property”), and the
85 development plan for the Property (the “Plan”), all of which is attached to and incorporated
86 into this Ordinance as Exhibit “A” and Exhibit “B”.
87

88 **SECTION 2. AMENDMENT TO THE CITY’S CODE OF ORDINANCE AND**
89 **THE CITY’S OFFICIAL ZONING MAP.**
90

91 The City’s Code of Ordinances, Appendix A, “Comprehensive Zoning”, Article 2,
92 “Administration”, Section 2.05, “Official Zoning Map” is hereby amended by rezoning the

Property from C-2 and LI to PUD *strictly conditioned upon full compliance with the approved Plan, the regulations, restrictions, and conditions*, as set forth in the Plan attached as “Exhibit B”. Additionally, the City’s Official Zoning Map shall be revised and amended to show the designation of the Property as rezoned to PUD, with the appropriate reference thereon to the number and effective date of this Ordinance, and a brief description of the nature of the change.

SECTION 3. INCORPORATION INTO THE CITY’S CODE OF ORDINANCES; PENALTY CLAUSE.

This Ordinance is hereby incorporated and made a part of the City’s Code of Ordinances. Violation of this Ordinance is subject to the penalties of Section 11.06 of the City’s Code of Ordinances, “Criminal Enforcement”, which provides that any person who shall violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined in an amount not to exceed two thousand dollars (\$2,000.00). Each day of violation shall constitute a separate offense. Additionally, should the subject PUD project fail to meet the schedule as approved herein, or otherwise fail to comply with this Ordinance or the PUD Plan, then the PUD classification and all related permits shall be immediately terminated, and the rezoning of the Property shall be immediately repealed, and the Property shall revert to C-2 zoning.

SECTION 4. REPEAL OF CONFLICTING ORDINANCES.

All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance are hereby expressly repealed. This Ordinance shall in no manner amend, change, supplement, or revise any provision of any ordinance of the City, save and except the change in zoning classification and specific uses/structures approved in the Plan, as provided herein.

SECTION 5. SEVERABILITY.

In the event any clause phrase, provision, sentence, or part of this Ordinance, or the application of the same to any person or circumstances, shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part of provision hereof other than the part declared to be invalid or unconstitutional; and the Council declares that it would have passed each every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

SECTION 6. NOTICE; EFFECTIVE DATE.

The City Secretary shall give notice of the enactment of this Ordinance by promptly publishing it or its descriptive caption and penalty after final passage in the official newspaper of the City, and this Ordinance shall become effective upon publication.

PASSED AND APPROVED on first reading with a quorum present, by an affirmative vote

of a majority of Councilmembers present, in accordance with Seabrook City Charter Section 2.10 on this 6th day of August 2024

PASSED, APPROVED, AND ADOPTED on final reading with a quorum present, by an affirmative vote of a majority of Councilmembers present, in accordance with Seabrook City Charter Section 2.10 on this 20th day of August 2024.

FOR THE CITY OF SEABROOK:

By: _____
Thomas G. Kolupski, Mayor

ATTEST:

By: _____
Rachel Lewis, City Secretary

APPROVED AS TO FORM:

By: _____
David Olson, City Attorney

185
186 **Exhibit “A” to Ordinance No. 2024-11**
187
188

189 **Legal Description:**
190

191 **Tract 1. Being Restrictive Reserve “A” (being 4.6900 acres) in Block One (1) of the**
192 **Bayport Logistics Center, Phase Two (2), an addition to the City of Seabrook, in the**
193 **Ritson Morris Survey, Abstract Number 52, in Harris County, Texas, according to the**
194 **map or plat thereof recorded at Film Code Number 662034 of the Map Records of Harris**
195 **County, Texas.**

196
197 **Tract 2. Being a tract or parcel of land containing 2.500 acres, in the Ritson Morris**
198 **Survey, Abstract 52, Harris County, Texas, said tract being out of and part of a certain**
199 **19.4174 acres tract of land, described in those certain Warranty Deed(s) from Vannie E.**
200 **Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk’s File No(s). D-**
201 **486035 and D-486036.**

Exhibit “B” to Ordinance No. 2024-11

1. Planned Unit Development Plan (on file with City Secretary)

Camfield Partners, LLC - Seabrook, TX PUD
Legal Description

Exhibit A

Tract 1:

Restricted Reserve "A" (being 4.6900 acres) in Block One (1) of BAYPORT LOGISTICS CENTER, PHASE TWO (2), an addition to the City of Seabrook, in the Ritson Morris Survey, Abstract Number 52, in HARRIS County, Texas, according to the map or plat thereof recorded at Film Code Number 662034 of the Map Records of HARRIS County, Texas.

Tract 2:

A tract or parcel of land containing 2.500 acres (or 180,903 square feet), more or less, in the Ritson Morris Survey, Abstract 52, HARRIS County, Texas, said tract being out of and part of a certain 19.4174 acre tract of land, described in those certain Warranty Deed(s) from Vannie E. Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk's File No(s). D-486035 and D-486036; the said 2.500 acre tract being more particularly described by metes and bounds as follows:

BEGINNING in the west line of Old State Highway 146 (variable right of way), at the northeast corner of Lot 1 in Block 1 of STATE HIGHWAY 146 BUSINESS PARK, according to the plat recorded at Film Code 618282 of the Map Records of Harris County, Texas, and the said corner, being the southeast corner of the herein described tract, from which a found 5/8-inch iron rod bears South 67° 28' 30" East, 0.28 feet;

THENCE South 86° 49' 00" West, along and with the north line of said Lot 1 in Block 1 of STATE HIGHWAY 146 BUSINESS PARK, a distance of 295.00 feet to the most southerly southeast corner of BAYPORT LOGISTICS CENTER PHASE Two FINAL PLAT, recorded at Film Code No. 662034, being the southwest corner of the herein described tract, from which a found 5/8-inch iron rod bears North 19° 27' 04" West, 0.21 feet;

THENCE North 17° 01' 00" East, along and with the easterly line of said BAYPORT LOGISTICS CENTER PHASE Two, a distance of 393.35 feet to a point for interior corner of said BAYPORT LOGISTICS CENTER PHASE Two tract, being the northwest corner of the herein described tract, from which a found 5/8-inch iron rod bears North 43° 19' 48" East, 0.30 feet;

THENCE North 86° 49' 00" East, along and with BAYPORT LOGISTICS CENTER PHASE TWO tract, a distance of 295.00 feet to a point for corner in said west line of Old State Highway 146 (variable right of way), being the most easterly southeast corner of said BAYPORT LOGISTICS CENTER PHASE Two tract, being the northwest corner of the herein described tract, from which a found 5/8-inch iron rod bears South 60° 40' 14" West, 0.63 feet;

THENCE South 17° 01' 00" West, along and with said west line of Old State Highway 146 (variable right of way), a distance of 393.35 feet to the PLACE OF BEGINNING.

NOTE: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for informational and/or identification purposes and does not override Item 2 of Schedule B hereof.

Tract 3:

Terms and provisions of that certain Access Easement Agreement by and between Pommel Meadows Hospitality LLC and WMF INVESTMENTS, INC., dated March 27, 2019, filed for record under Clerk's File Number RP-2019-121623 of the Official Public Records of Real Property of HARRIS County, Texas.

Exhibit “B”

Ordinance 2024-17

World Class Freezer Facility
Planned Unit Development
District Plan

August 2024

7.2 Acres

Applicant:

Camfield Partners, LLC

8895 Research Drive, Suite 200

Irvine, CA 92618

Exhibit “B”

World Class Freezer Planned Unit Development District Plan

Contents

- A. General Provisions
- B. Permitted Land Use
- C. Proposed Land Use
- D. Development Regulations
- E. Building Regulations
- F. Estimated Development Schedule

A. General Provisions

- a. The PUD approved herein must be designed, constructed, and maintained in compliance with this Ordinance. This District is intended to serve the operational needs of a frozen food storage facility. The district is designed to accommodate land use activities that meet the community goals and policies enumerated in the Comprehensive Master Plan 2040.
- b. Except as otherwise provided herein, the words used in the PUD have the meaning established by the Zoning Ordinance. In this Ordinance:
 - i. Open Space means the portion of all land contained within the PUD that is not covered by buildings, parking lots, and driveways.
 - ii. PUD means the planned unit development created by this ordinance.
 - iii. Shipping/storage containers whether used for outside storage, as an inhabited structure, or for any other purpose are prohibited: Exception: A shipping container is permitted on site while on a trailer chassis.

- c. The PUD shall be developed in accordance with the following exhibits that are attached to and made part of this document.
 - i. Exhibit D-1: Rendering from Old Hwy 146
 - ii. Exhibit D-2: Rendering from N. Hwy 146
 - iii. Exhibit D-3: Rendered Site Plan
 - iv. Exhibit D-4: Overall Floor Plan
 - v. Exhibit D-5: Rendered Elevations
 - vi. Exhibit D-6: Building Materials
 - vii. Exhibit D-7: Site Setback Plan
 - viii. Exhibit D-8: Site Signage Plan
 - ix. Exhibit D-9: Area Location Map 1"=1000'
 - x. Exhibit D-10: Area Location Map 1"=200'
 - xi. Exhibit D-11: Legal Description
 - xii. Exhibit D-12: Landscape Plan
 - xiii. Exhibit D-13: Utility Plan
 - xiv. Exhibit D-14: Topographic Survey L-1
 - xv. Exhibit D-15: Topographic Survey L-2
- d. As shown in Exhibits D-3 and D-10, the PUD encompasses approximately 7.2 acres of land along the West Right of Way line of Old Highway 146 north of Red Bluff Road in the City of Seabrook TX.
- e. Development of one Tilt-Up/Insulated Panel freezer facility containing approximately 134,632 sf of floor space inclusive of freezer, loading dock, office space, private driveways, landscaping, parking security wall/fencing, detention basins, and utilities as shown in attached Exhibits D-1 through D-15.
- f. All signage shall meet the minimum standards of the City's requirements established in Article 6-Sign Standards as shown on Exhibit D-8.

B. Permitted Land Uses

- a. Two tracts of land containing approximately 7.2 acres and zoned as C-2 Medium Commercial District and LI Light Industrial District.

C. Proposed Land Use

- a. This PUD development shall allow for industrial use on the currently zoned commercial land of a single freezer facility of approximately 134,632 square feet. The project shall be inclusive of a freezer, loading dock, office space, private driveways, landscaping, parking, security wall/fencing, detention basins, and utilities as shown in attached Exhibits D-1 through D-15.
- b. This PUD shall be contingent upon the following conditions:

D. Development Regulations

- a. Development standards.
 1. The development standards established by either the approved PUD or Seabrook Code of Ordinances shall be complied with as of the date of approval.
- b. Maximum height of building
 1. No building or structure may exceed 80 feet in height.
 2. This facility will not exceed 65' in height from the mean grade average.
- c. Building Setbacks
 1. Front Yard - All buildings shall be set back from street right-of-way lines minimum of 35 feet.
 2. Side Yard – All buildings shall have side yard setbacks of not less than 25 feet.
 3. Rear Yard – The setback at the rear of the property (west elevation) shall be 30'.
- d. Screening /Fencing/Wall
 1. All ground-level mechanical equipment shall be screened from view by using walls at the same height as the equipment.
 2. An 8'-0" tall masonry/concrete wall will be provided along the entire property line adjacent to the

commercial (hotel) parcel to accommodate a proper screening from properties.

3. All other property lines shall have 8' fencing.

e. Building Area

1. The building is proposed to be approximately 134,632 square feet.

f. Parking

1. Parking shall meet the requirements outlined in Article 5 of the city of Seabrook zoning by-law.

g. Landscaping

1. Shall meet or exceed the Seabrook Code of Ordinances found in Article 7 of the city's zoning by-law.

2. Exhibits show proposed designs of the facility as well as site planning for parking, stormwater detention, and trucking operations.

3. Two driveways from Old Highway 146 shall serve as the only ingress and egress for the facility. Existing easements with property owners to the south shall not be used by the facility.

h. Signage

1. Signage shall meet the Seabrook Code of Ordinances, as it is stated in Article 6 of the city's zoning by-law.

i. Architectural Standards: This building is a frozen food warehouse facility and is required to be constructed out of materials which will allow for energy efficiency and thermal isolation.

1. Exterior walls in the freezer will be constructed from specialized insulated architectural panels with a light textured finish to allow for maximum thermal isolation

and high insulation R-values to achieve freezer temperatures.

2. Exterior walls of the loading dock and mechanical areas will be constructed from concrete bearing wall panels with accents and reveals to add a decorative element. These walls will be lined on the inside with insulated architectural panels to allow for a cold (not freezing) environment.
3. Exterior walls at the office will be constructed with concrete bearing wall panels, with accents and reveals to add a decorative element, they will also have alum framing and glass to accent the area. Inside will be metal studs and drywall for the office environment.

E. Building Regulations

- a. The color palette shall be primarily white with black accent stripes.
- b. Exterior finishes shall be insulated metal panel and concrete tilt wall construction.
- c. All equipment except electrical transformers shall be screened.

F. Development Schedule

- a. Plan Design- Completion November 2024
- b. Plan Submittal- December 2024
- c. Plan Approval- February 2025
- d. Construction- March 2025-May 2026



CamfieldPartners
Building Corporate Homes for Successful Businesses



Exhibit D-1

Seabrook, TX

Building Rendering

View From Old Highway 146



CamfieldPartners
Building Corporate Homes for Successful Businesses



View From N Highway 146 to Galveston Bay

Exhibit D-2

Seabrook, TX

Building Rendering



Building Calculations

FREEZER	= 106,134 GROSS SF.
LOADING DOCK	= 18,568 GROSS SF.
MECH ROOM	= 1,750 GROSS SF.
OFFICE	= 3,215 GROSS SF.
TOTAL	= 129,667 GROSS SF.

Total Area = 129,667 g.s.f.

BUILDING FOOTPRINT

MECH MEZZANINE	= 1,750 GROSS SF.
OFFICE MEZZANINE	= 3,215 GROSS SF.

Total Building Area = 134,632 g.s.f.

INCLUDING OFFICE MEZZANINE

Pallet Calculations

FREEZER - A

72 PALLETS DN AISLE X 2 = 144 PALLETS
144 PALLETS PER AISLE X 20 = 2,880 PALLETS
2,880 PALLETS X 6 HIGH = 17,280 PALLETS

17,280 TOTAL PALLETS

84 CAR SPACES

19 TRAILER SPACES

Exhibit D-3

Seabrook, TX

Rendered Site Plan



CamfieldPartners
Building Corporate Homes for Successful Businesses

Building Calculations

FREEZER	= 106,134 GROSS SF.
LOADING DOCK	= 18,568 GROSS SF.
MECH ROOM	= 1,750 GROSS SF.
OFFICE	= 3,215 GROSS SF.
TOTAL	= 129,667 GROSS SF.

Total Area = 129,667 g.s.f.

BUILDING FOOTPRINT

MECH MEZZANINE	= 1,750 GROSS SF.
OFFICE MEZZANINE	= 3,215 GROSS SF.

Total Building Area = 134,632 g.s.f.

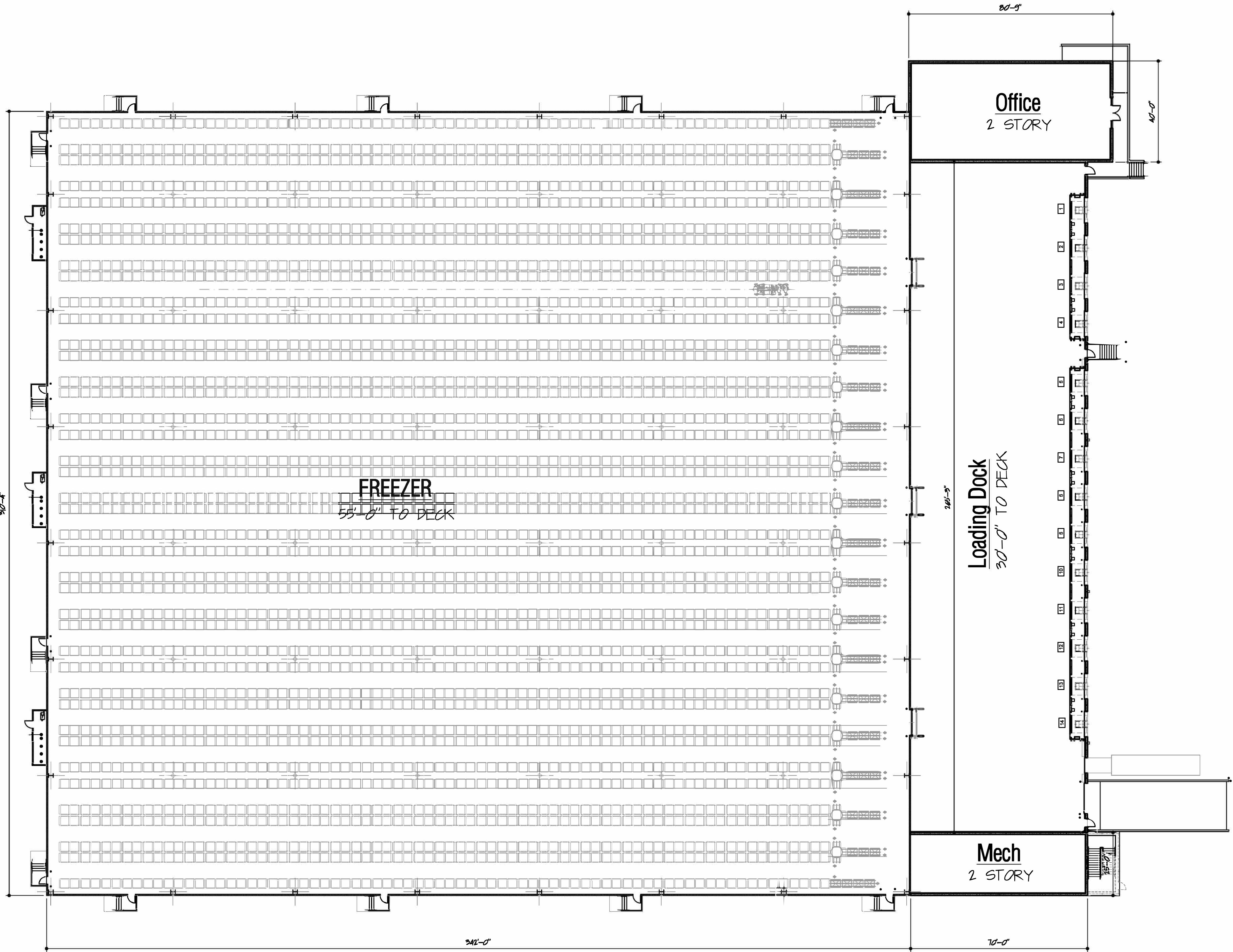
INCLUDING OFFICE MEZZANINE

Pallet Calculations

FREEZER - A

74 PALLETS DN AISLE X 2 = 148 PALLETS
148 PALLETS PER AISLE X 20 = 2,960 PALLETS
2,960 PALLETS X 6 HIGH = 17,760 PALLETS

17,760 TOTAL PALLETS



OVERALL FLOOR PLAN

SCALE: 1" = 10'-0"

Exhibit D-4

- Seabrook, TX

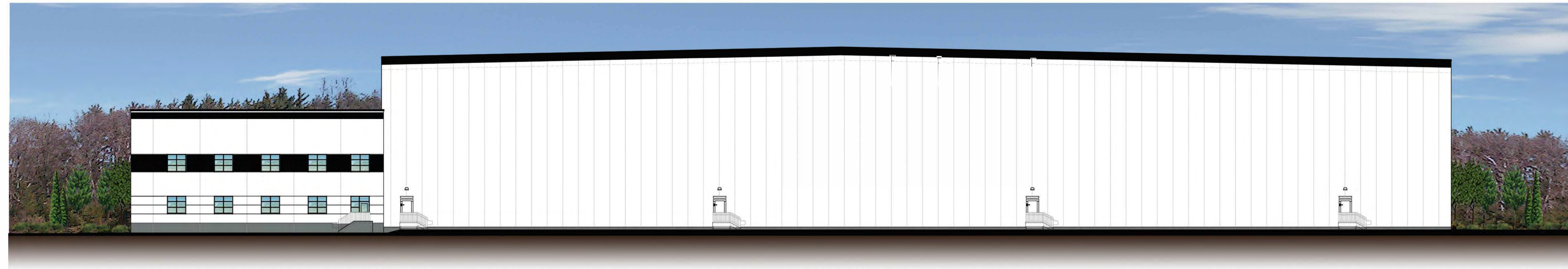
Overall Floor Plan



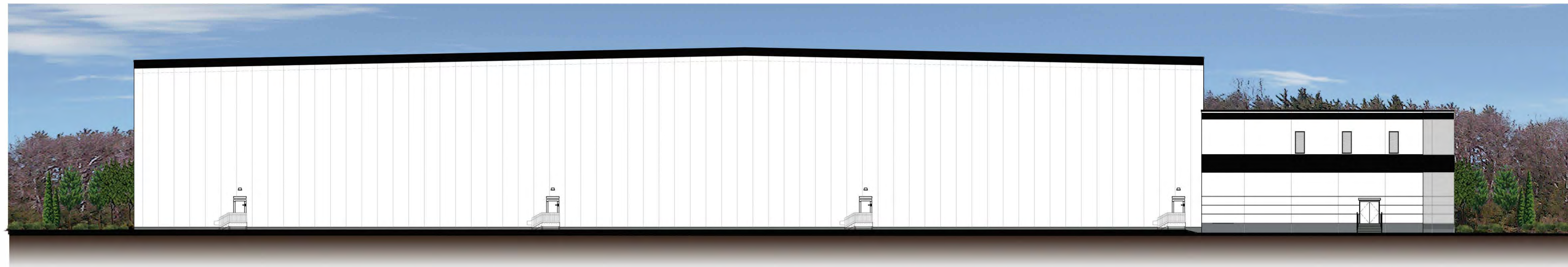
CamfieldPartners
Building Corporate Homes for Successful Businesses



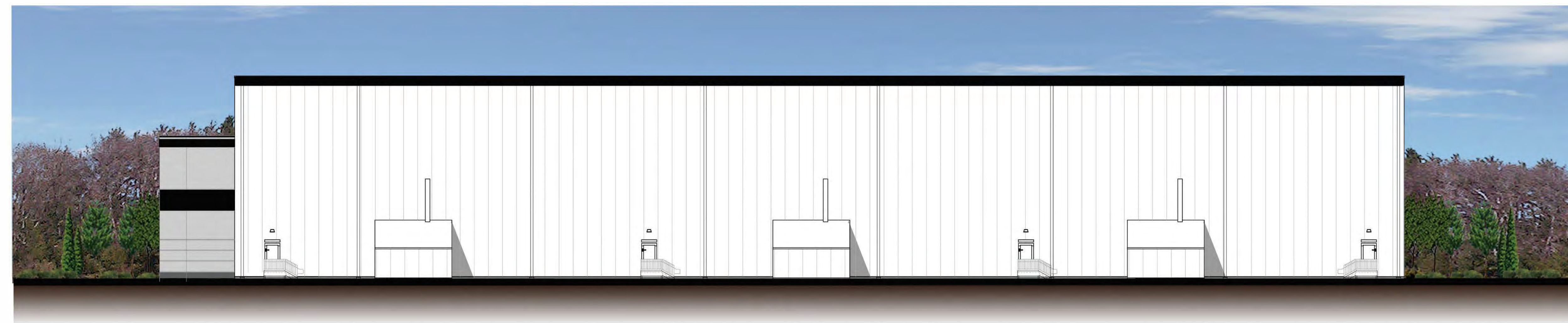
FRONT ELEVATION - View from Old 146



SIDE ELEVATION (Office) - View from existing warehouse



SIDE ELEVATION (Mech) - View from hotel



REAR ELEVATION - View from New 146

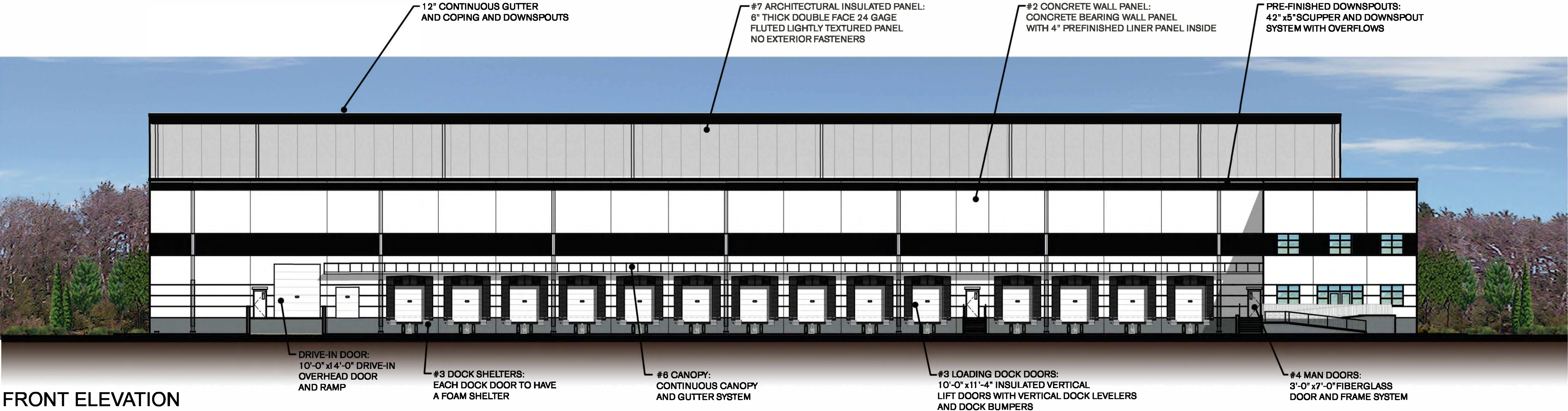
Exhibit D-5

Seabrook, TX

Rendered Elevations



CamfieldPartners
Building Corporate Homes for Successful Businesses



FRONT ELEVATION



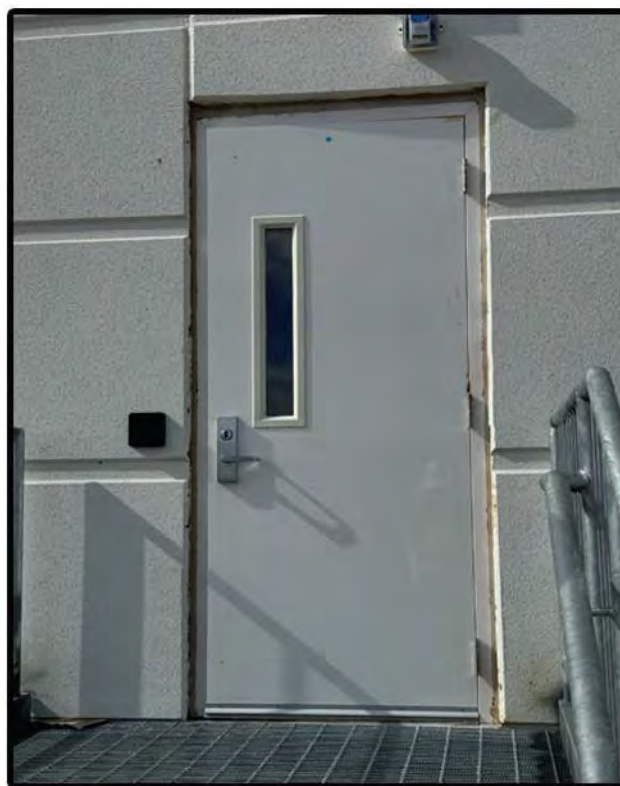
#1 ALUMINUM & GLASS
STOREFRONT SYSTEM - BLACK



#2 CONCRETE WALL PANEL
MAIN COLOR WHITE, ACCENT
COLORS BLACK



#3 INSULATED OVERHEAD
DOORS WITH DOCK SHELTERS



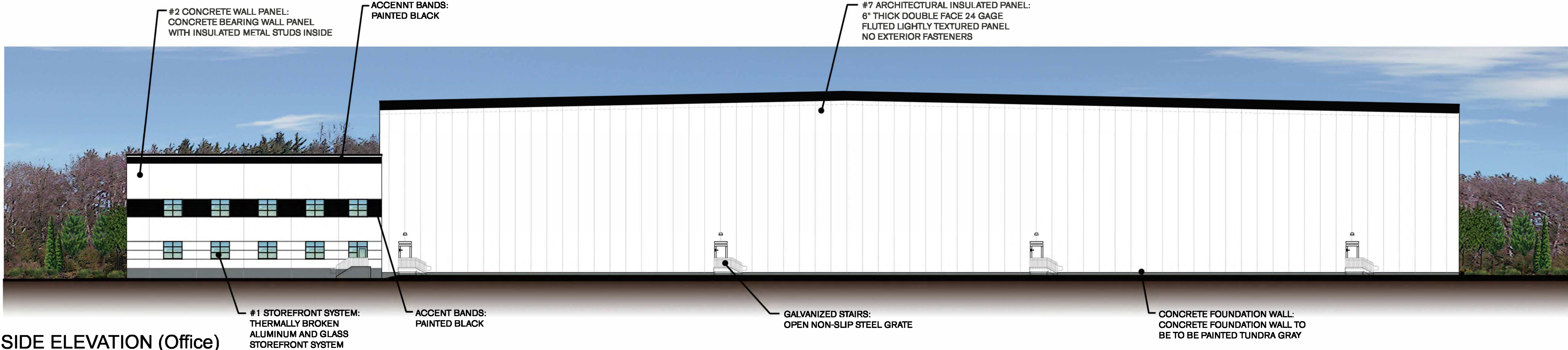
#4 FIBERGLASS MAN DOORS



#6 CONTINUOUS CANOPY



#7 LIGHT TEXTURED
ARCHITECTURAL
INSULATED PANELS



SIDE ELEVATION (Office)

Exhibit D-6

Seabrook, TX

Building Materials



CamfieldPartners
Building Corporate Homes for Successful Businesses

Legend

 Property Line

 Site Setback



Exhibit D-7

Seabrook, TX

Site Setback Plan



CamfieldPartners
Building Corporate Homes for Successful Businesses

Legend

***** City of Seabrook Sign



***** Development Sign

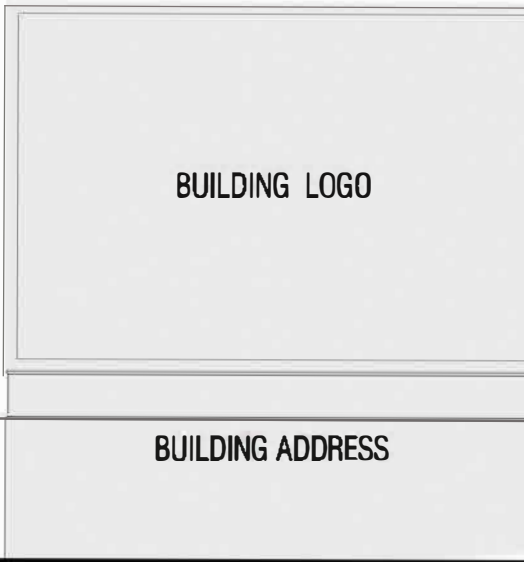
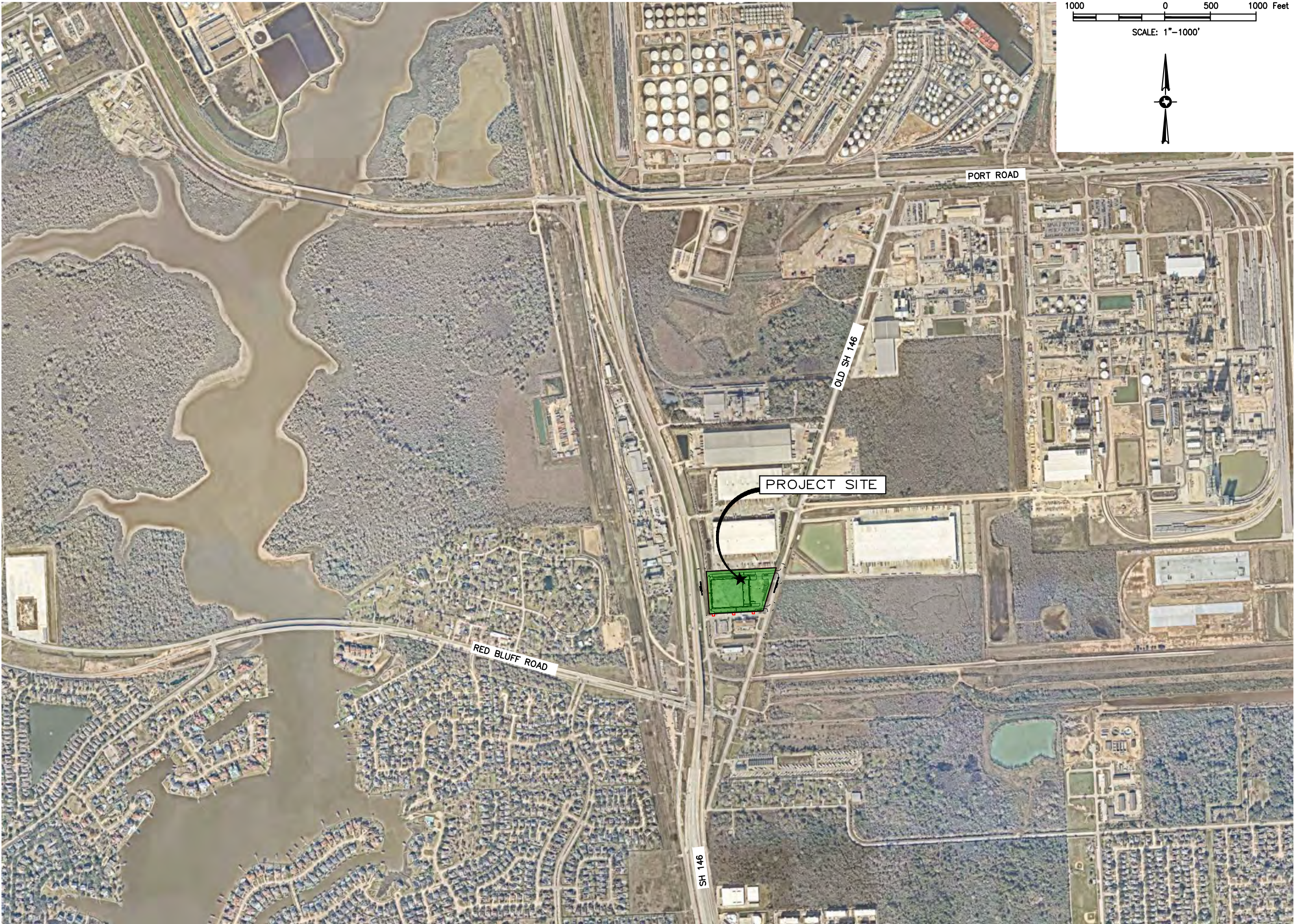


Exhibit D-8

Seabrook, TX

Site Signage Plan

INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY AND NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF SHEL MARK ENGINEERING, LLC



**CAMFIELD PARTNERS
OLD FM 146
SEABROOK, TEXAS**

PROJECT:



ISSUED FOR	
	7/16/24 REVIEW

INTERIM SUBMITTAL
DOCUMENT INTENDED
FOR REVIEW ONLY.
NOT ISSUED
FOR CONSTRUCTION.

ENGINEER:
MARCUS J. MICHNA P.E.
REGISTRATION NO. 84739

DATE: 7/16/2024

SHEET:
AREA LOCATION MAP

SHEET NO:

Ex.D-9

SCALE: 1"=1000'	BY: SBK
JOB NO: 23-152	REV: A

INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY AND NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF SHEL MARK ENGINEERING, LLC



CAMFIELD PARTNERS
OLD FM 146
SEABROOK, TEXAS



ISSUED FOR	
A 7/16/24 REVIEW	

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FOR CONSTRUCTION.

ENGINEER:
MARCUS J. MICHNA P.E.
REGISTRATION NO. 84739

DATE: 7/16/2024

SHEET:
AERIAL EXHIBIT

SHEET NO:
Ex. D-10

SCALE: 1"=200'	BY: SBK
JOB NO: 23-152	REV: A

INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY AND NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF SHELMARK ENGINEERING, LLC

Camfield Partners, LLC - Seabrook, TX PUD
Legal Description

Exhibit A

Tract 1:
Restricted Reserve "A" (being 4.6900 acres) in Block One (1) of BAYPORT LOGISTICS CENTER, PHASE TWO (2), an addition to the City of Seabrook, in the Ritson Morris Survey, Abstract Number 52, in HARRIS County, Texas, according to the map or plat thereof recorded at Film Code Number 662034 of the Map Records of HARRIS County, Texas.

Tract 2:
A tract or parcel of land containing 2.500 acres (or 180,903 square feet), more or less, in the Ritson Morris Survey, Abstract 52, HARRIS County, Texas, said tract being out of and part of a certain 19.4174 acre tract of land, described in those certain Warranty Deed(s) from Vannie E. Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk's File No(s). D-486035 and D-486036; the said 2.500 acre tract being more particularly described by metes and bounds as follows:

BEGINNING in the west line of Old State Highway 146 (variable right of way), at the northeast corner of Lot 1 in Block 1 of STATE HIGHWAY 146 BUSINESS PARK, according to the plat recorded at Film Code 618282 of the Map Records of Harris County, Texas, and the said corner, being the southeast corner of the herein described tract, from which a found 5/8-inch iron rod bears South 67° 28' 30" East, 0.28 feet;

THENCE South 86° 49' 00" West, along and with the north line of said Lot 1 in Block 1 of STATE HIGHWAY 146 BUSINESS PARK, a distance of 295.00 feet to the most southerly southeast corner of BAYPORT LOGISTICS CENTER PHASE Two FINAL PLAT, recorded at Film Code No. 662034, being the southwest corner of the herein described tract, from which a found 5/8-inch iron rod bears North 19° 27' 04" West, 0.21 feet;

THENCE North 17° 01' 00" East, along and with the easterly line of said BAYPORT LOGISTICS CENTER PHASE Two, a distance of 393.35 feet to a point for interior corner of said BAYPORT LOGISTICS CENTER PHASE Two tract, being the northwest corner of the herein described tract, from which a found 5/8-inch iron rod bears North 43° 19' 48" East, 0.30 feet;

THENCE North 86° 49' 00" East, along and with BAYPORT LOGISTICS CENTER PHASE TWO tract, a distance of 295.00 feet to a point for corner in said west line of Old State Highway 146 (variable right of way), being the most easterly southeast corner of said BAYPORT LOGISTICS CENTER PHASE Two tract, being the northwest corner of the herein described tract, from which a found 5/8-inch iron rod bears South 60° 40' 14" West, 0.63 feet;

THENCE South 17° 01' 00" West, along and with said west line of Old State Highway 146 (variable right of way), a distance of 393.35 feet to the PLACE OF BEGINNING.

Tract 3:
Terms and provisions of that certain Access Easement Agreement by and between Pommel Meadows Hospitality LLC and WMF INVESTMENTS, INC., dated March 27, 2019, filed for record RP-2019-121623 of the Official Public Records of Real Property of HARRIS County, Texas.

PROJECT:

CAMFIELD PARTNERS
OLD FM 146
SEABROOK, TEXAS



ISSUED FOR	
A	7/16/24 REVIEW

INTERIM SUBMITTAL
DOCUMENT INTENDED
FOR REVIEW ONLY.
NOT ISSUED
FOR CONSTRUCTION.

ENGINEER:
MARCUS J. MICHNA P.E.
REGISTRATION NO. 84739

DATE: 7/16/2024

SHEET:
Legal Description

SHEET NO:
Ex. D-11

SCALE:	N.T.S.	BY:	SBK
JOB NO:	23-152	REV:	A

INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY AND NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF SHELMARK ENGINEERING, LLC

LANDSCAPE SUMMARY

SITE AREA = 313,178SF
LANDSCAPE REQUIRED (15% OF SITE) = 46,976SF
LANDSCAPE PROVIDED = 71,229SF

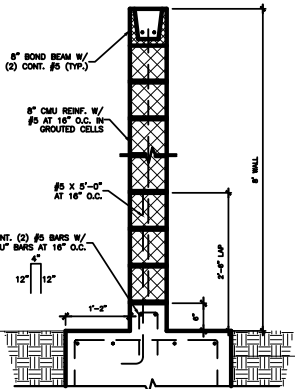
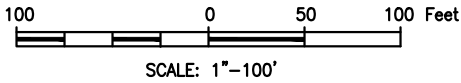
PARKING AREA = 18,394SF
LANDSCAPE REQUIRED (10% OF SITE) = 1,839SF
LANDSCAPE PROVIDED = 3,977SF

1. FRONTAGE TREE: 1 TREE PER 50 LF OF FRONTAGE. 1,548/50 = 31 EA
2. PARKING LOT ISLAND TREE: 1 TREE PER 12 PARKING SPACES = 4 EA

*** TREES MUST MEET LANDSCAPING REQUIREMENTS SET BY THE CITY OF SEABROOK CITY ORDINANCE. CHANGE IN LANDSCAPING MUST BE APPROVED BY URBAN FORESTER.

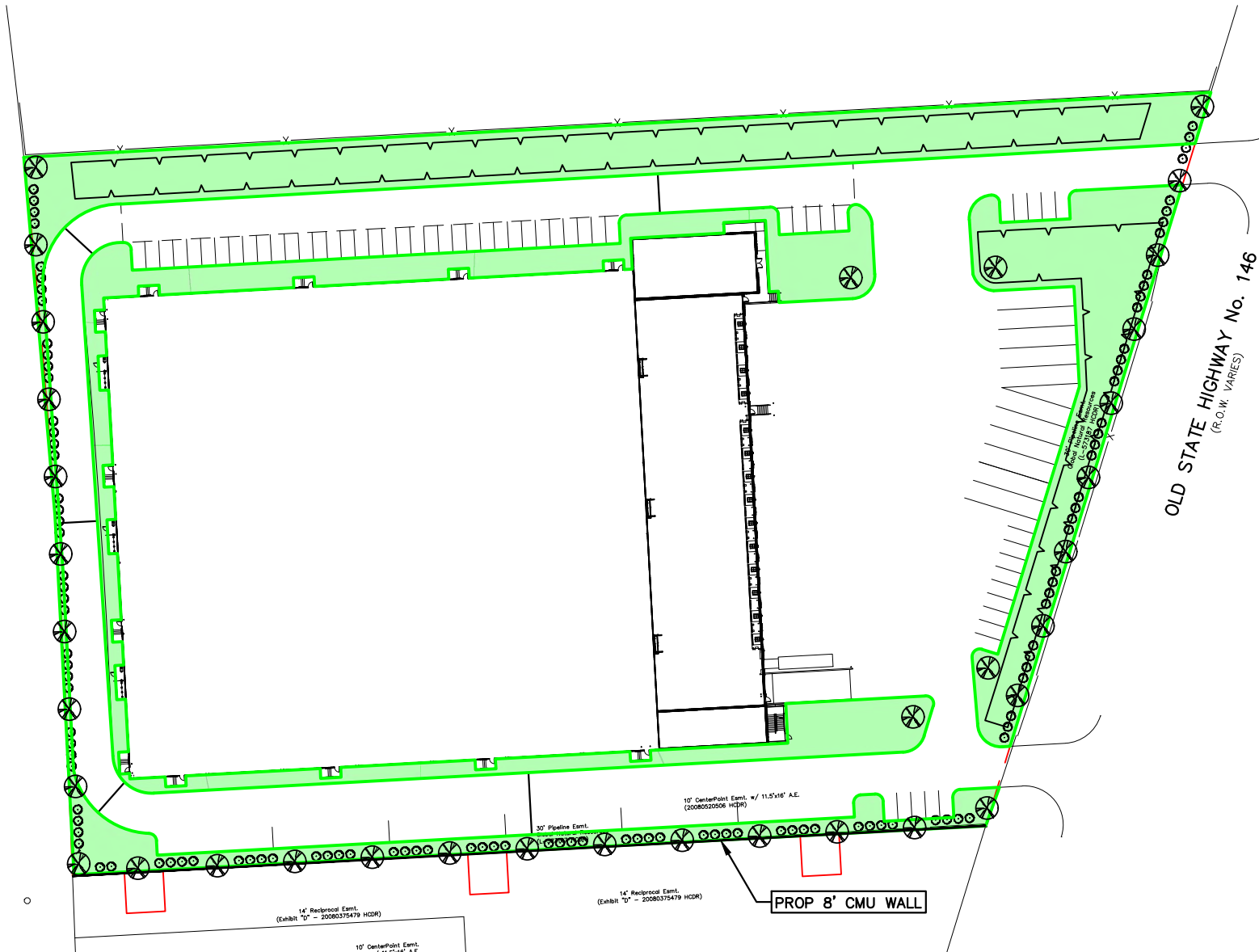
LANDSCAPE LEGEND

-  SITE PARKING SCREENING
24" TALL SHRUBS
-  SITE PERIMETER TREES
2" CALIPER MINIMUM
-  SITE GREEN SPACE



CMU WALL

N.T.S.



CAMFIELD PARTNERS
OLD FM 146
SEABROOK, TEXAS

PROJECT:



ISSUED FOR
7/16/24
REVIEW

INTERIM SUBMITTAL
DOCUMENT INTENDED
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FOR CONSTRUCTION.

ENGINEER:
MARCUS J. MICHNA P.E.
REGISTRATION NO. 84739

DATE: 7/16/2024

SHEET:
LANDSCAPE PLAN

SHEET NO:
Ex. D-12

SCALE: 1"=100' BY: SBK
JOB NO: 23-152 REV: A

INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY AND NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF SHEL MARK ENGINEERING, LLC

EXISTING SANITARY SEWER LINE

EXISTING WATER LINE

EXISTING SANITARY MANHOLE

EXISTING FIRE HYDRANT

PROPOSED SANITARY CLEANOUT

PROPOSED SANITARY SEWER LINE

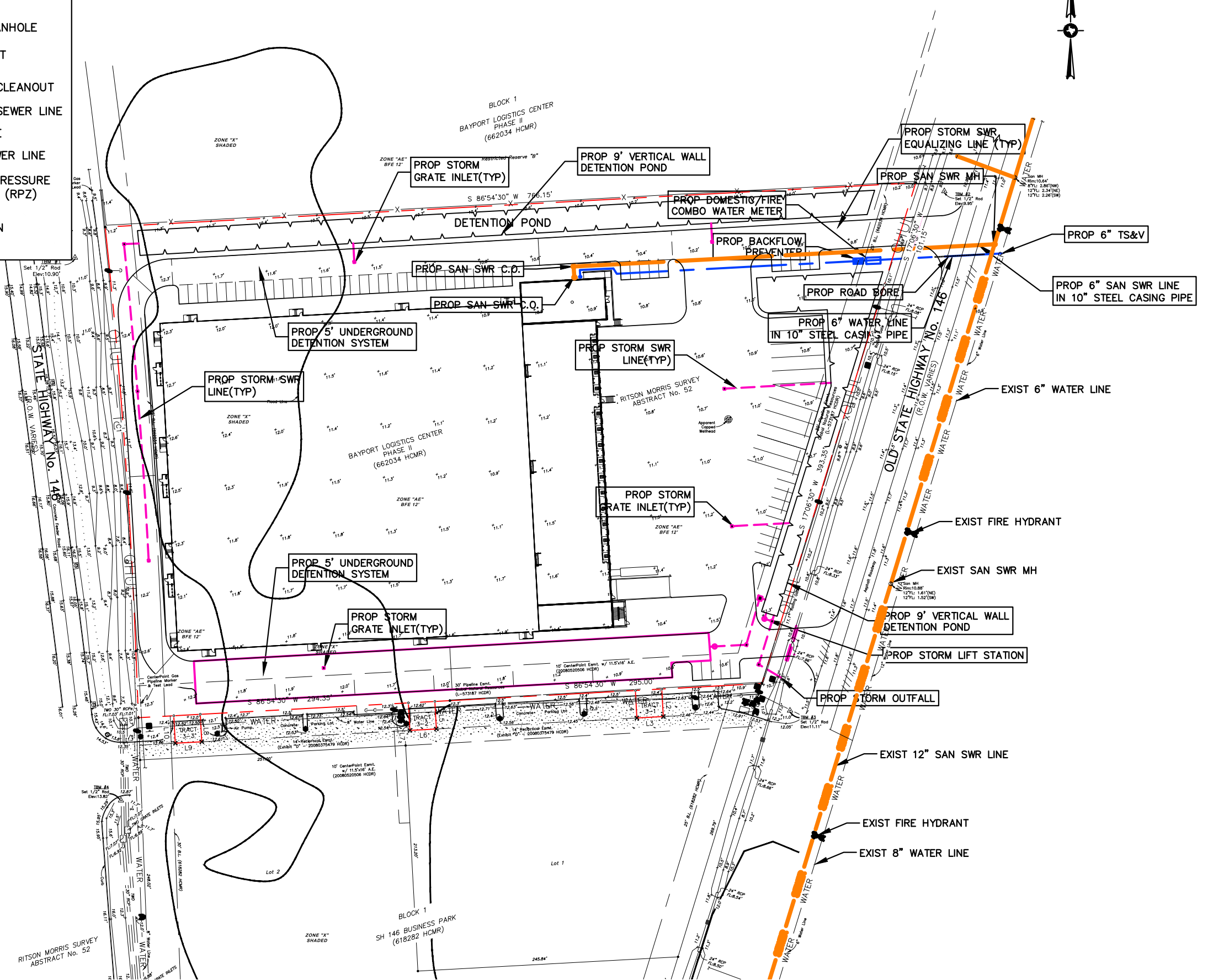
PROPOSED WATER LINE

PROPOSED STORM SEWER LINE

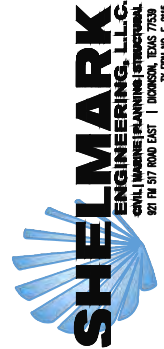
PROPOSED REDUCED PRESSURE BACKFLOW PREVENTER (RPZ)

PROPOSED CATCHBASIN

SITE LEGEND



CAMFIELD PARTNERS
OLD FM 146
SEABROOK, TEXAS



ISSUED FOR	
7/16/24	REVIEW

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FOR CONSTRUCTION.

ENGINEER:
MARCUS J. MICHNA P.E.
REGISTRATION NO. 84739
DATE: 7/16/2024

SHEET: UTILITY PLAN

SHEET NO:
Ex. D-13

SCALE: 1"=100'	BY: SBK
JOB NO: 23-152	REV: A

RITSON MORRIS SURVEY
ABSTRACT No. 52

STATE HIGHWAY No. 146
(R.O.W. VARIES)

EXHIBIT D-14

TOPOGRAPHIC SURVEY

TRACT 1
Being Restricted Reserve "A" (being 4.6900 acres) in Block One (1) of BAYPORT LOGISTICS CENTER, PHASE TWO (2), an addition to the City of Seabrook, in the Ritson Morris Survey, Abstract Number 52, in HARRIS County, Texas, according to the map or plat thereof recorded at Film Code Number 662034 of the Map Records of HARRIS County, Texas.

TRACT 2
Being a tract or parcel of land containing 2.500 acres, in the RITSON MORRIS SURVEY, Abstract 52, Harris County, Texas, said tract being out of and part of a certain 19.4174 acre tract of land, described in those certain Warranty Deed(s) from Vannie E. Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk's File No(s). D-486035 and D-486036.

TRACT 3
Being Access Easement No. 1 (called Tract 3-1 hereon, Access Easement No. 2 (called Tract 3-2 hereon), and Access Easement No. 3 (called Tract 3-3 hereon), of that certain Access Easement Agreement by and between Pomme Meadows Hospitality LLC and WMF INVESTMENTS, INC., dated March 27, 2019, filed for record under Clerk's File Number RP-2019-121623 of the Official Public Records of Real Property of Harris County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.



LEAGUE CITY OFFICE
Registration Number: 10193855
(281) 954-7730 www.hightidelandsurveying.com
200 HOUSTON AVE, SUITE 8 | LEAGUE CITY, TX 77573
Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

SCALE: 1" = 30'

LINE	BEARING	DISTANCE
L1	N 02°09'30" W	62.91'
L2	S 03°05'30" E	26.00'
L3	S 86°54'30" W	25.00'
L4	N 03°05'30" W	26.00'
L5	S 03°05'30" E	26.00'
L6	S 86°54'30" W	25.00'
L7	N 03°05'30" W	26.00'
L8	S 03°05'30" E	26.00'
L9	S 86°54'30" W	25.00'
L10	N 03°05'30" W	26.00'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5917.98'	401.32'	401.25'	N 04°06'04" W	3°53'08"

ABBREVIATIONS

- A.E. Aerial Easement
- B.L. Building Line
- CPP Corrugated Plastic Pipe
- Culv. Culvert
- Esmt. Easement
- FL Flow Line
- Fnd. Found
- HCDR Harris County Deed Records
- HCMR Harris County Map Records
- RCP Reinforced Concrete Pipe
- R.O.W. Right of Way
- San MH Sanitary Manhole
- TBM Temporary Benchmark
- + XX.X' Spot Elevation (Natural Grade, Ditch, Asphalt)
- + XX.XX' Spot Elevation (Concrete, Back of Curb, Gutter)

LEGEND

- ✕ Cut "X"
- ⊠ Electrical Box
- ⊠ Fire Department Control
- ⊠ Fire Hydrant
- ⊠ Grate Inlet
- ⊠ Guy Anchor
- ⊠ Light Pole
- ⊠ Power Pole
- ⊠ Sanitary Manhole
- ⊠ Set 1/2" Rod
- ⊠ San MH
- ⊠ Storm Drain Manhole
- ⊠ Vault
- ⊠ Water Meter
- ⊠ Water Valve
- Asphalt Center Line
- Asphalt Edge
- Chain Link Fence
- Concrete Center Line
- Ditch Flow Line
- Ditch High Bank
- Grade Break
- Overhead Utility Line
- Pipeline
- Toe of Slope

NOTES:
1) This property does lie within the 100 Year Flood Plain (apparent flood zones shown hereon) according to FIRM Panel No. 48201C1089M, dated January 6, 2017, as established by the Federal Emergency Management Agency.
2) This property is subject to any restrictions of record as established by the City, State, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
3) Bearings based on Monumentation of Bayport Logistics Center, Phase II recorded plat.
4) Elevations are shown in feet above Mean Sea Level NAD 83 Datum as tied to NGS Monument HCCSD 57 (AW489).
5) Fidelity National Title Insurance Company Insured. Certified Partners, LLC.
GF No: 1076682300028
Issue Date: March 14, 2023



EXHIBIT D-15

TOPOGRAPHIC SURVEY

TRACT 1

Being Restricted Reserve "A" (being 4.6900 acres) in Block One (1) of BAYPORT LOGISTICS CENTER, PHASE TWO (2), an addition to the City of Seabrook, in the Ritson Morris Survey, Abstract Number 52, in HARRIS County, Texas, according to the map or plot thereof recorded at Film Code Number 662034 of the Map Records of HARRIS County, Texas.

TRACT 2

Being a tract or parcel of land containing 2.500 acres, in the RITSON MORRIS SURVEY, Abstract 52, Harris County, Texas, said tract being out of and part of a certain 19.4174 acre tract of land, described in those certain Warranty Deed(s) from Vannie E. Cook, Jr., to John B. Carter, Jr., recorded under Harris County Clerk's File No(s). D-486035 and D-486036.

TRACT 3

Being Access Easement No. 1 (called Tract 3-1 hereon, Access Easement No. 2 (called Tract 3-2 hereon), and Access Easement No. 3 (called Tract 3-3 hereon), of that certain Access Easement Agreement by and between Pommel Meadows Hospitality LLC and WMF INVESTMENTS, INC., dated March 27, 2019, filed for record under Clerk's File Number RP-2019-121623 of the Official Public Records of Real Property of Harris County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.



Stephen C. Blaskey
Registered Professional
Land Surveyor No. 5856



LEAGUE CITY OFFICE
Registration Number: 10188885
(281) 254-7730 www.hightidelandsurveying.com
200 HOUSTON AVE, SUITE B | LEAGUE CITY, TX 77573
Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

SCALE: 1" = 30'

LINE BEARING	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
L1 N 02°09'30" W 62.91'			
L2 S 03°05'30" E 26.00'			
L3 S 86°54'30" W 23.00'			
L4 N 03°05'30" E 26.00'			
L5 S 03°05'30" E 26.00'			
L6 S 86°54'30" W 25.00'			
L7 N 03°05'30" W 26.00'			
L8 S 03°05'30" E 26.00'			
L9 S 86°54'30" W 25.00'			
L10 N 03°05'30" W 26.00'			

CURVE/RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5917.98'	401.25'	N 04°06'04" W	3°53'08"

ABBREVIATIONS

B.L.	Building Line
Esmt.	Easement
FL	Flow Line
Fnd.	Found
HCDR	Harris County Deed Records
HCMR	Harris County Map Records
RCP	Reinforced Concrete Pipe
R.O.W.	Right of Way
San MH	Sanitary Manhole
TBM	Temporary Benchmark
+ XX.X'	Spot Elevation (Natural Grade, Ditch, Asphalt)
+ XX.XX'	Spot Elevation (Concrete, Back of Curb, Gutter)

LEGEND

⊙	Communications Manhole	—	Asphalt Center Line
⊕	Fire Hydrant	—	Asphalt Edge
⊗	Gas Marker Pin Flag	—	Chain Link Fence
⊙	Guy Anchor	—	Ditch Flow Line
⊕	Power Pole	—	Ditch High Bank
⊙	Sanitary Manhole	—	Grade Break
⊕	Set 1/2" Rod	—	Overhead Utility Line
⊕	Storm Drain Manhole	—	Pipeline
⊕	Telecommunications Pedestal	—	Toe of Slope
⊕	Vault		
⊕	Water Meter		
⊕	Water Valve		
⊕	Well Head		

NOTES

- This property does lie within the 100 Year Flood Plain (apparent flood zones shown hereon) according to FIRM Panel No. 48201C109M, dated January 6, 2017, as established by the Federal Emergency Management Agency.
- This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
- Bearings based on Monumentation of Bayport Logistics Center, Phase II recorded plat.
- Elevations are shown in feet above Mean Sea Level NAD 83 datum as tied to NGS Monument H0300 57 (AW5499).
- Fidelity National Title Insurance Company Insured: Cornfield Partners, LLC. GE No.: 1076602300208 Issue Date: March 14, 2023

Request for Approval of a Final PUD to Create World Class Freezer Facility Planned Unit Development

City Council and Planning and Zoning Commission
Joint Meeting Meeting
August 6, 2024



Project Description

The project consists of a 134,632 square foot freezer warehouse, 84 vehicle parking spaces, and 19 tractor trailer loading spaces located on approximately 7.19 acres tract of land.

Previous Action Taken

The Planning and Zoning Commission, at its special meeting on July 2, 2024, recommended that the city council approve a request for a Preliminary Planned Unit Development (Preliminary PUD) to establish the "World Class Freezer Facility Planned Unit Development." This development would consist of a 134,632-square-foot freezer warehouse, 84 vehicle parking spaces, and 19 tractor trailer loading spaces, situated on approximately 7.19 acres of land.

The recommendation included the following condition: An 8'-0" tall masonry/concrete wall must be constructed along the entire property line adjacent to the commercial (hotel) parcel to provide proper screening from neighboring properties.

Previous Action Taken

The City Council, at its special meeting on July 2, 2024, approved a request for a Preliminary Planned Unit Development (Preliminary PUD) to establish the "World Class Freezer Facility Planned Unit Development." This development will consist of a 134,632-square-foot freezer warehouse, 84 vehicle parking spaces, and 19 tractor trailer loading spaces, situated on approximately 7.19 acres of land. The approval included the following condition: An 8'-0" tall masonry/concrete wall must be constructed along the entire property line adjacent to the commercial (hotel) parcel to provide proper screening from neighboring properties.

Proposed Location



Final PUD Document

Questions?